



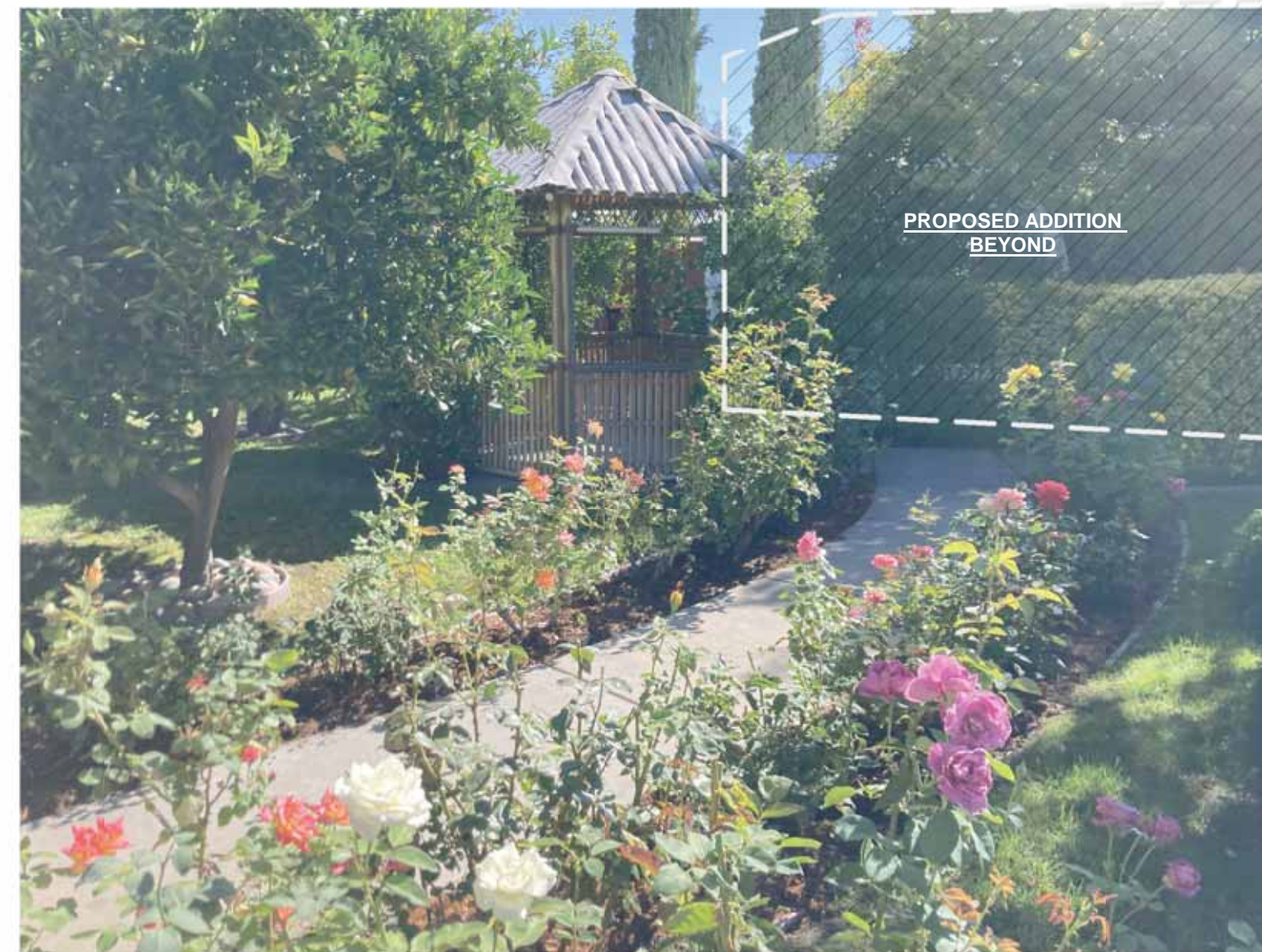
1 PHOTO 1 - FRONT VIEW ALONG WARREN RD
SCALE: NTS



2 PHOTO 2 - FRONT VIEW FACING EAST
SCALE: NTS



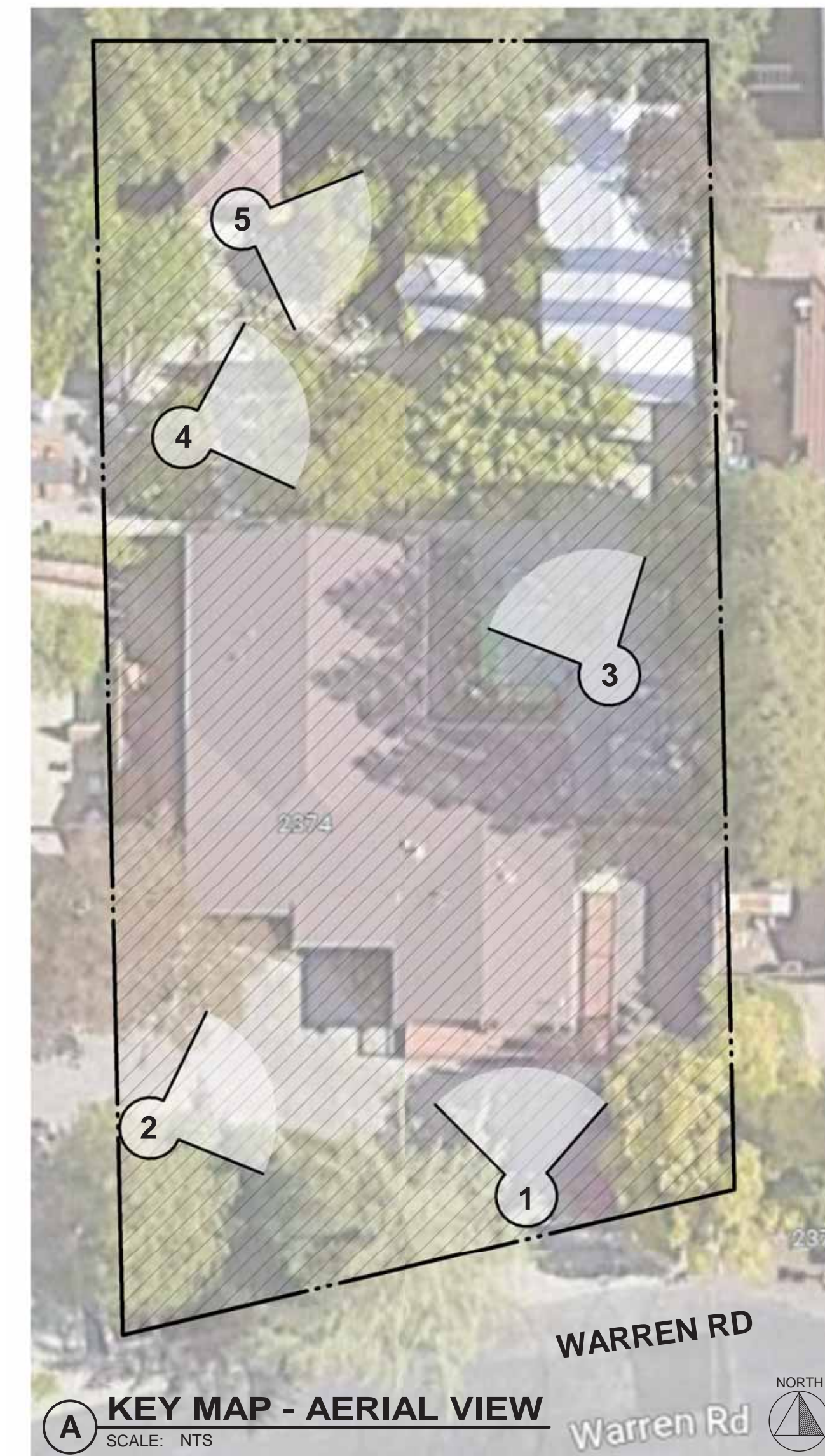
3 PHOTO 3 - REAR VIEW FACING NORTHWEST
SCALE: NTS



4 PHOTO 4 - REAR VIEW FACING EAST NORTHEAST
SCALE: NTS



5 PHOTO 5 - REAR VIEW FACING EAST SOUTHEAST
SCALE: NTS



A KEY MAP - AERIAL VIEW
SCALE: NTS

101 LUCAS VALLEY RD, SUITE 150
SAN RAFAEL, CA 94903
T: 415.597.8800 F: 925.558.4814



THE CARNELIAN ASSITED LIVING FACILITY EXPANSION

APN # 184-120-071

PROJECT ADDRESS
2374 WARREN RD
WALNUT CREECK, CA 94595

MANAGED BY: HGCI
B-GENERAL BUILDING
CONTRACTOR
LIC. # 720437

STAMP

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REVISIONS/SUBMITTALS

DATE	DESCRIPTION
10/11/2024	LAND USE PERMIT

DATE 10/11/2024
SCALE AS NOTED
PROJECT ID 23004
DRAWN BY NW
CHECKED BY JH

EXISTING SITE PHOTOS

SHEET TITLE

SHEET NO.

A0.1

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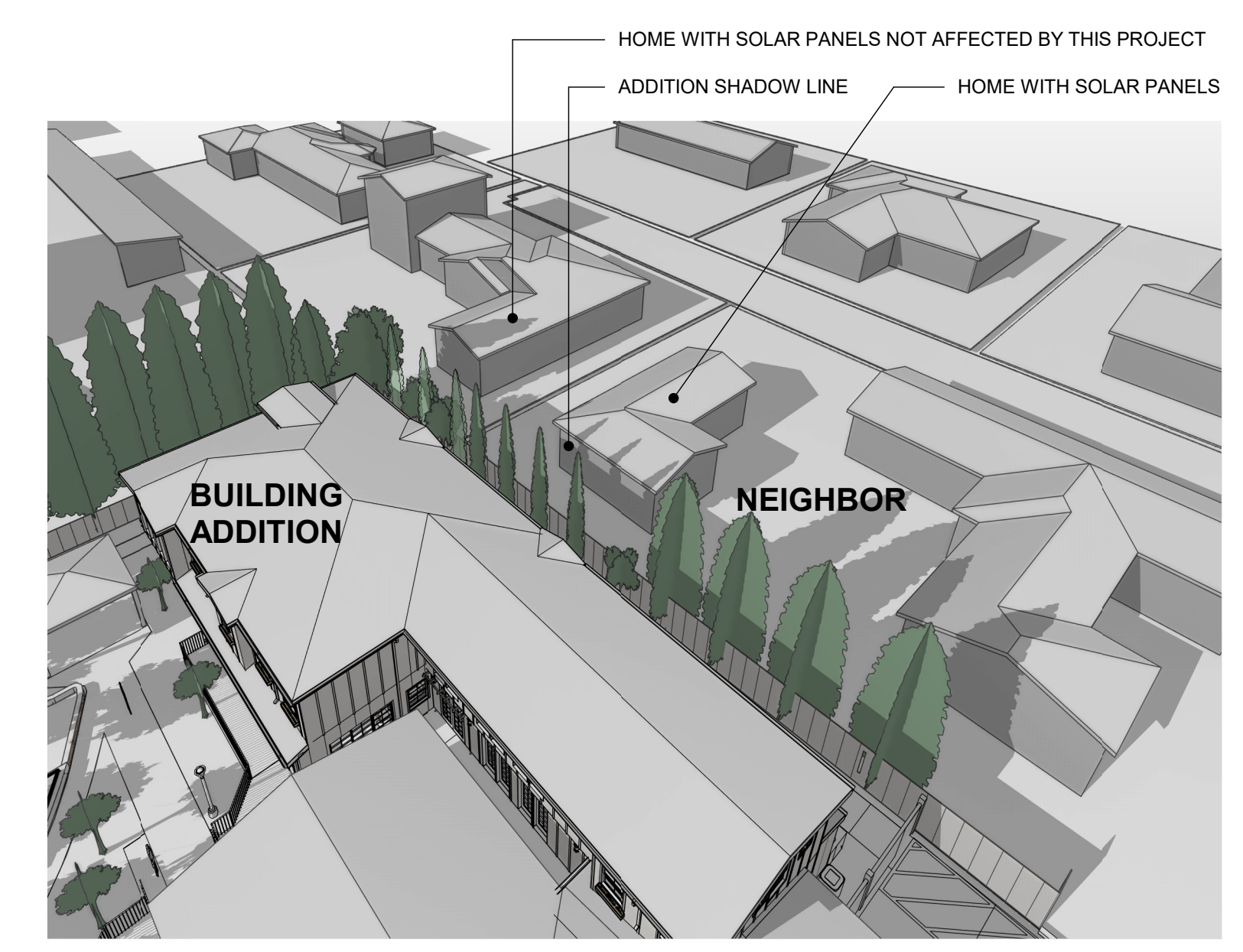


THE CARNELIAN ASSITED LIVING FACILITY EXPANSION

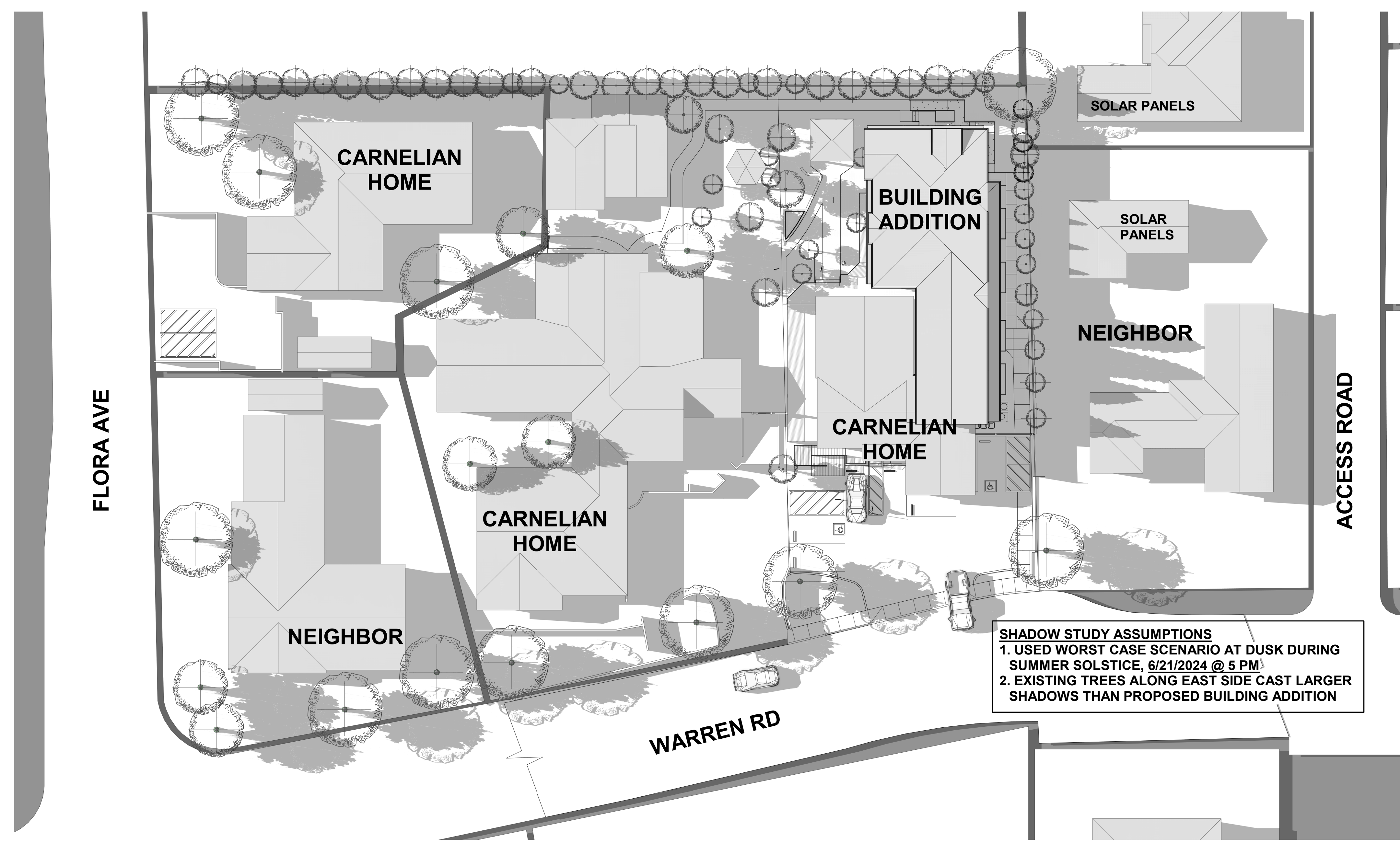
APN # 184-120-071

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 2374 WARREN RD
 WALNUT CREECK, CA 94595

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2 SHADOW STUDY - 3D PERSPECTIVE
 SCALE:



1 SHADOW STUDY - SITE PLAN
 SCALE:

SHADOW STUDY ASSUMPTIONS
 1. USED WORST CASE SCENARIO AT DUSK DURING SUMMER SOLSTICE, 6/21/2024 @ 5 PM
 2. EXISTING TREES ALONG EAST SIDE CAST LARGER SHADOWS THAN PROPOSED BUILDING ADDITION



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SHADOW STUDY

SHEET TITLE

A0.2

SHEET NO.

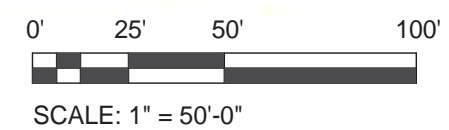
10/11/2024 12:10:59 PM

Context Map



1 CONTEXT MAP

SCALE: 1" = 50'-0" AERIAL IMAGE FROM GOOGLE EARTH



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CONTEXT MAP

SHEET TITLE

SHEET NO.

A1.0

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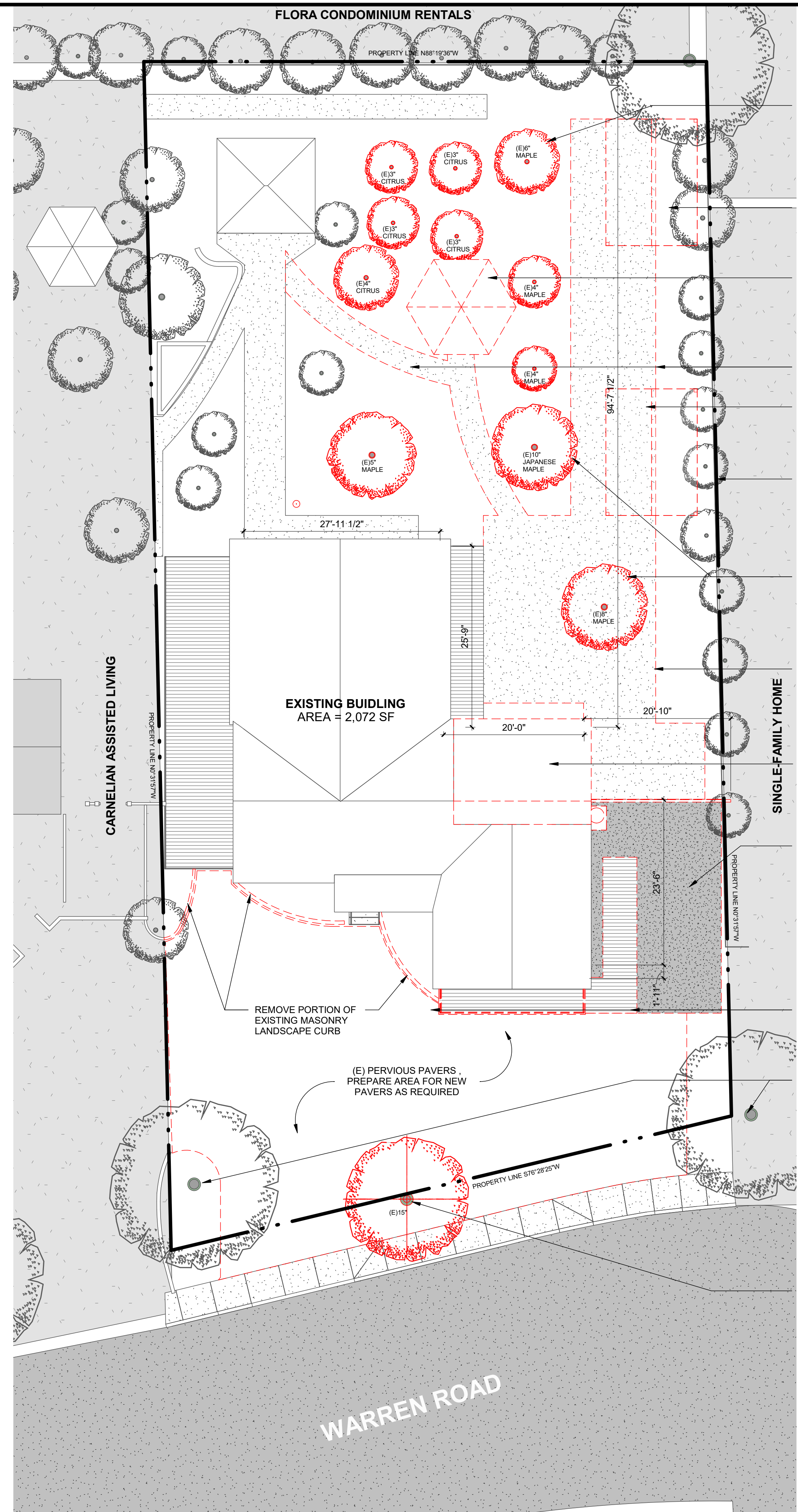
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SITE PLAN + TREE REMOVAL + TREE PROTECTION PLAN

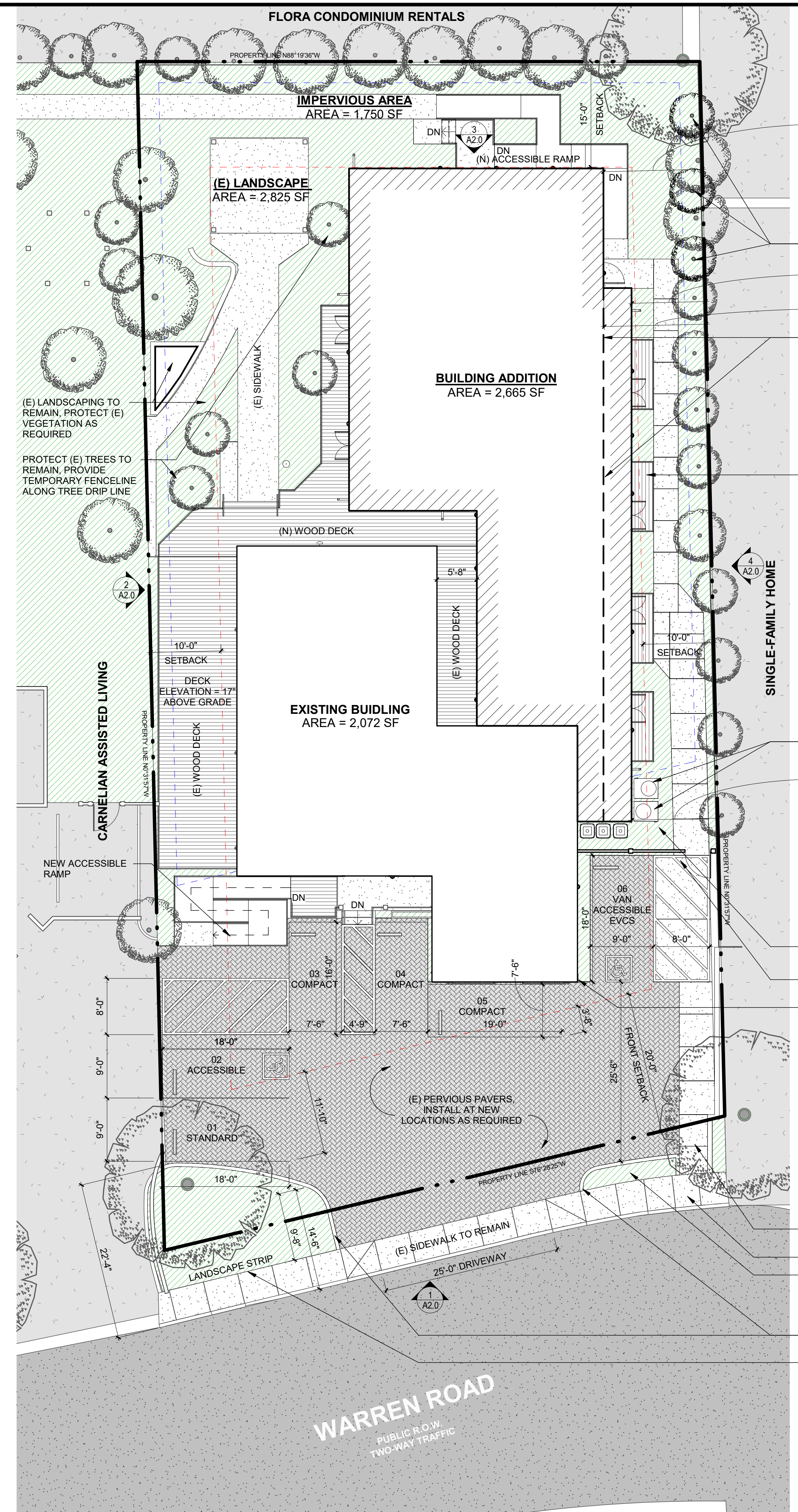
SHEET TITLE

SHEET NO.

A1.1



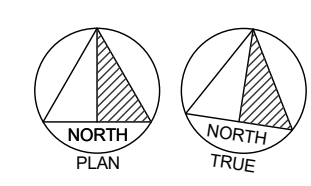
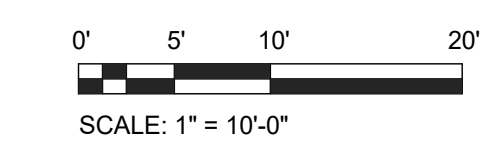
2 EXISTING SITE PLAN + REMOVALS
SCALE: 1" = 10'-0"



1 SITE PLAN
SCALE: 1" = 10'-0"

PARKING PROVIDED

PARKING TYPE	QTY.
ACCESSIBLE PARKING	1
ACCESSIBLE VAN PARKING + EVCS	1
COMPACT PARKING	3
STANDARD PARKING	1
TOTAL SHOWN	6



10/11/2024 12:12:12 PM

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THE CARNELIAN ASSITED LIVING FACILITY EXPANSION

APN # 184-120-071

PROJECT ADDRESS
 2374 WARREN RD
 WALNUT CREEK, CA 94595

MANAGED BY: HGCI
 B-GENERAL BUILDING CONTRACTOR
 LIC. # 720437

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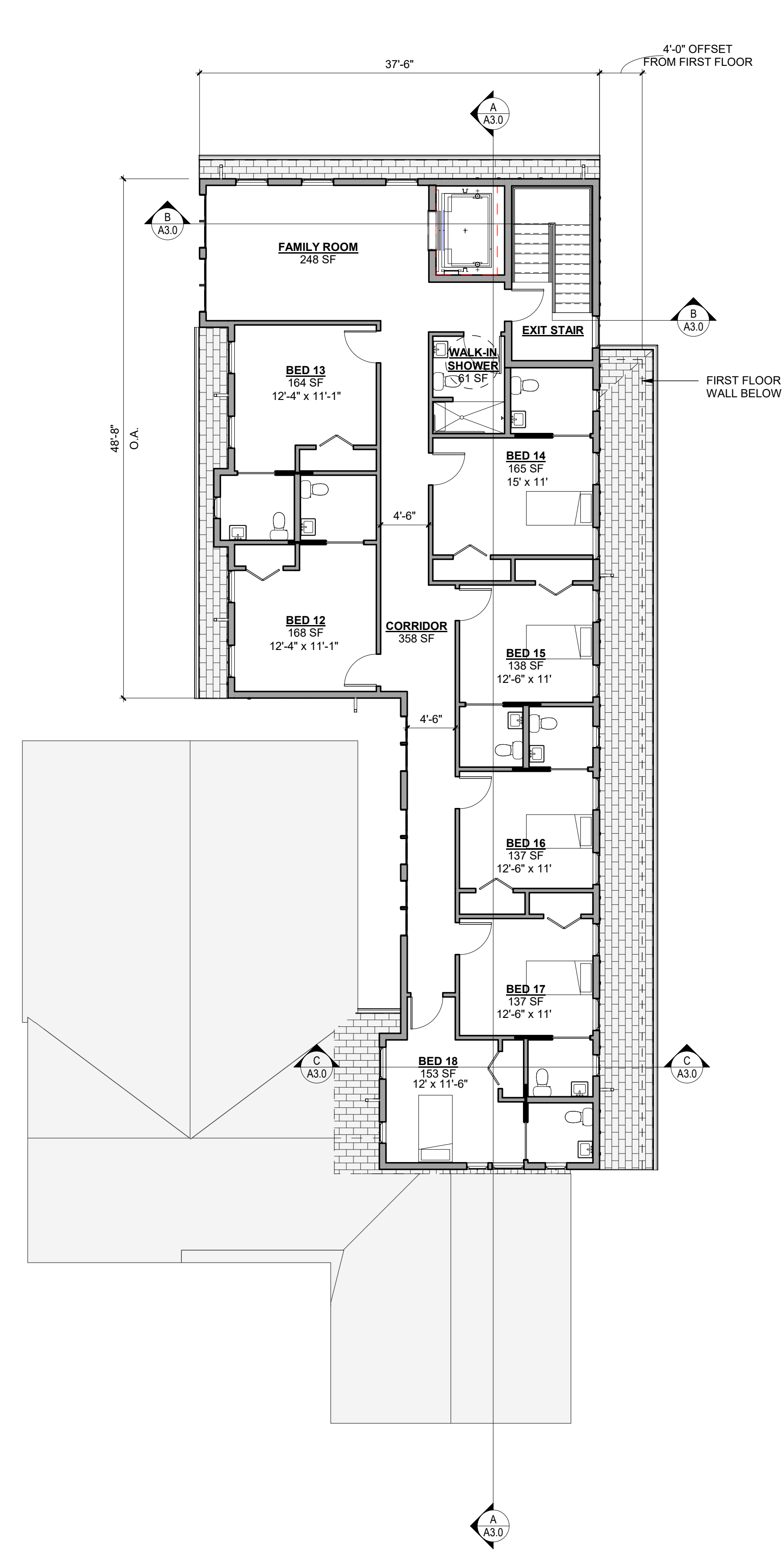
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CHECKED BY	JH

FIRST FLOOR PLAN + SECOND FLOOR PLAN

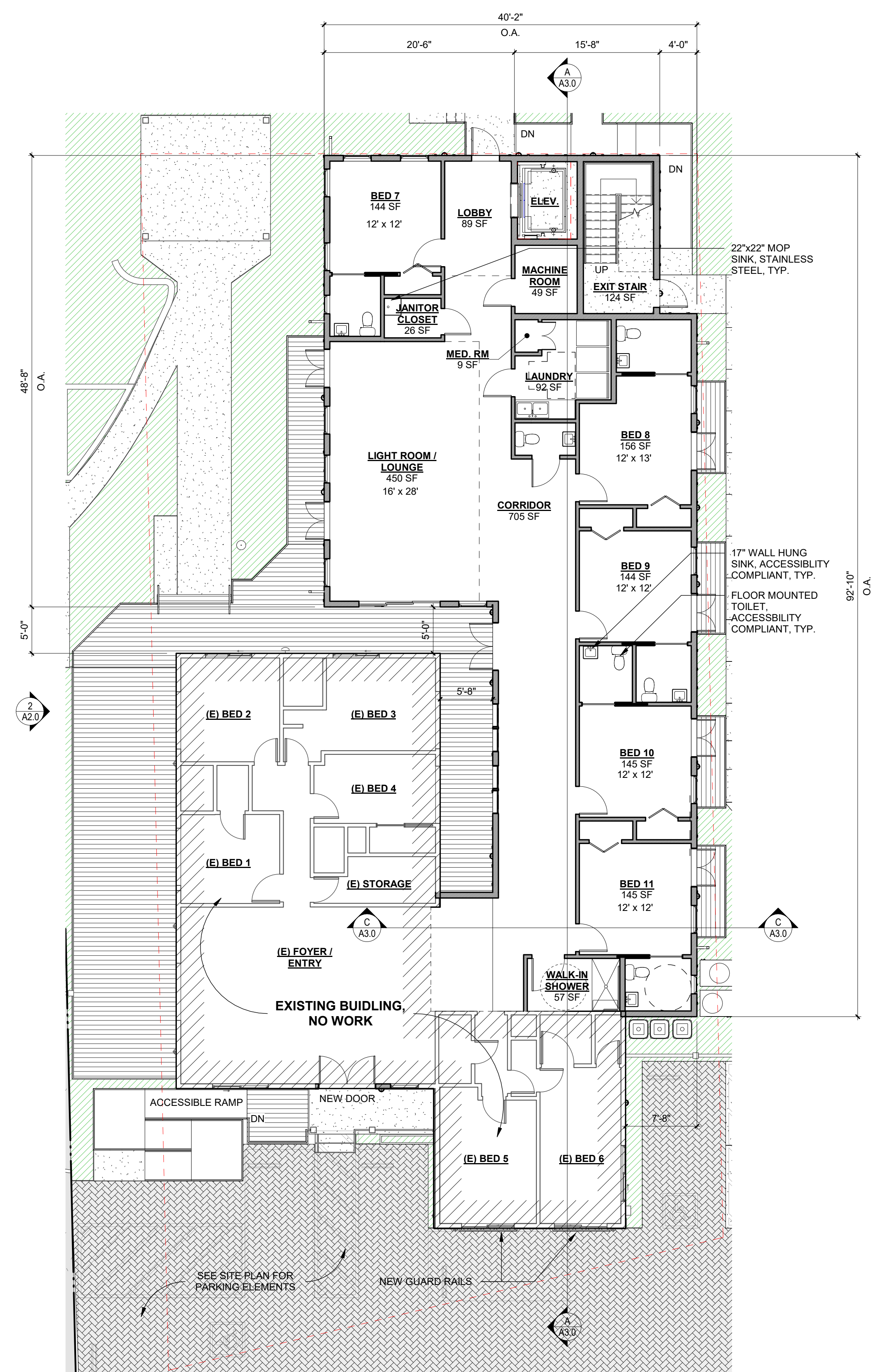
SHEET TITLE

SHEET NO.

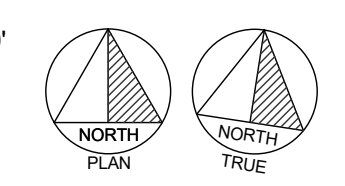
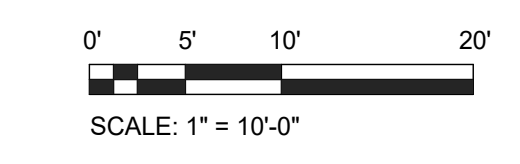
A1.2



2 SECOND FLOOR
 SCALE: 1/8" = 1'-0"



1 FIRST FLOOR
 SCALE: 1/8" = 1'-0"



10/11/2024 12:12:14 PM

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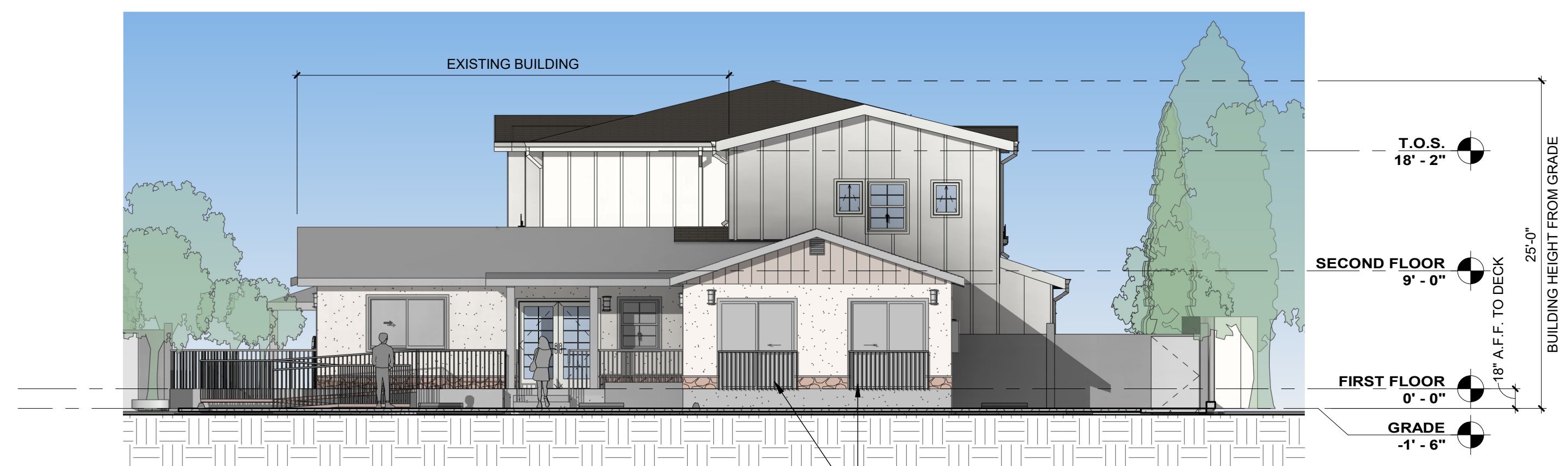
DATE	10/11/2024
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EXTERIOR BUILDING ELEVATIONS

SHEET TITLE

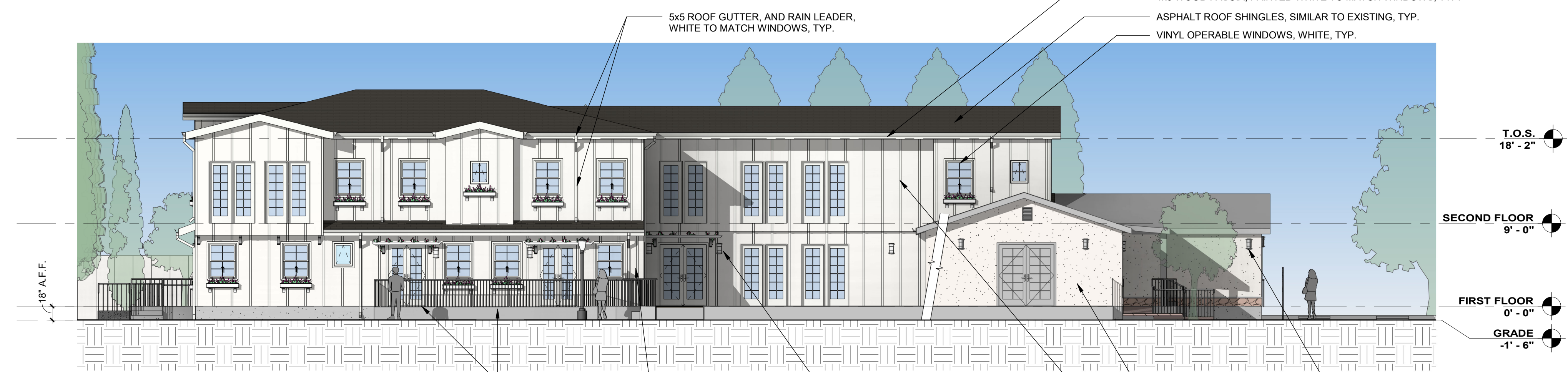
SHEET NO.

A2.0



1 EXTERIOR ELEVATION - SOUTH (FRONT)
 SCALE: 1/8" = 1'-0"

- METAL GUARDRAIL, PAINTED TO MATCH EXISTING FINISHES
- 1x8 WOOD FASCIA, PAINTED WHITE TO MATCH WINDOWS, TYP.
- ASPHALT ROOF SHINGLES, SIMILAR TO EXISTING, TYP.
- VINYL OPERABLE WINDOWS, WHITE, TYP.



2 EXTERIOR ELEVATION - WEST
 SCALE: 1/8" = 1'-0"

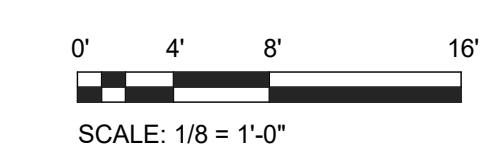


3 EXTERIOR ELEVATION - NORTH
 SCALE: 1/8" = 1'-0"



4 EXTERIOR ELEVATION - EAST
 SCALE: 1/8" = 1'-0"

- MECHANICAL EQUIPMENT
- ITALIAN CYPRESS, TREE SCREEN TOWARD EAST NEIGHBOR



10/11/2024 12:12:28 PM

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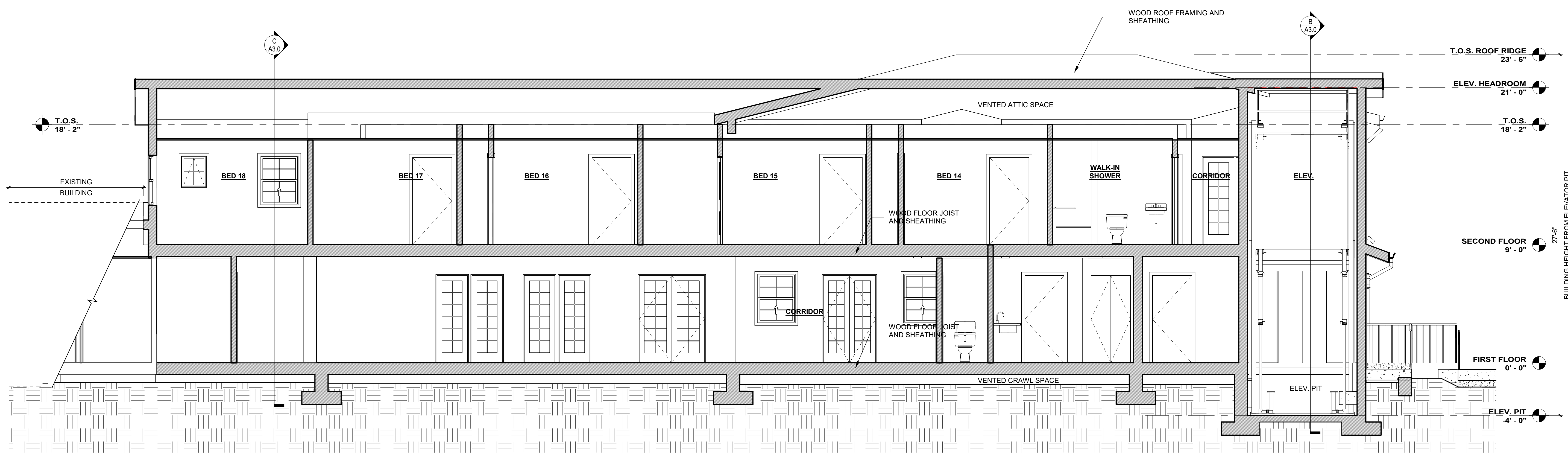


THE CARNELIAN ASSITED LIVING FACILITY EXPANSION

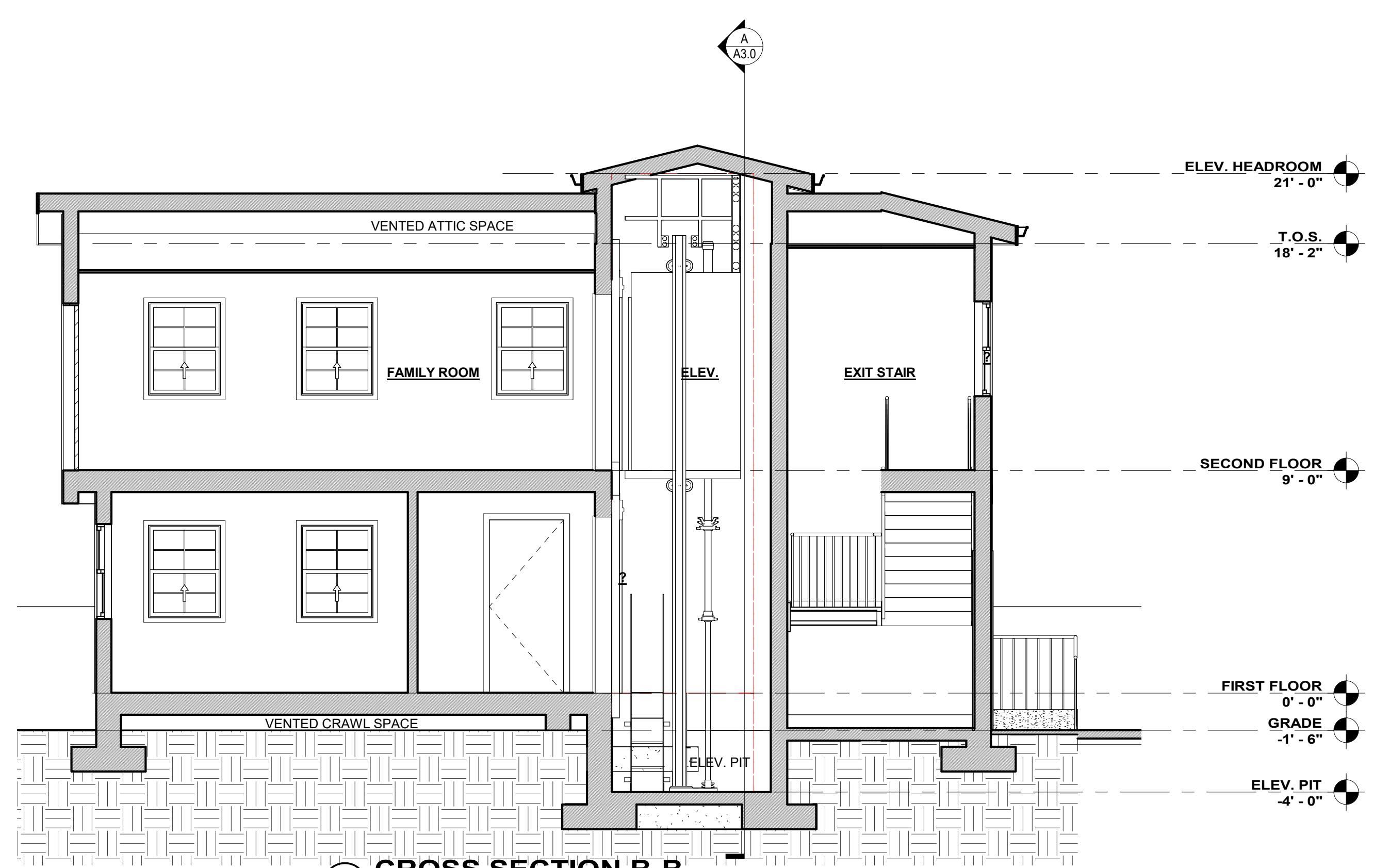
APN # 184-120-071

PROJECT ADDRESS
2374 WARREN RD
WALNUT CREEK, CA 94595

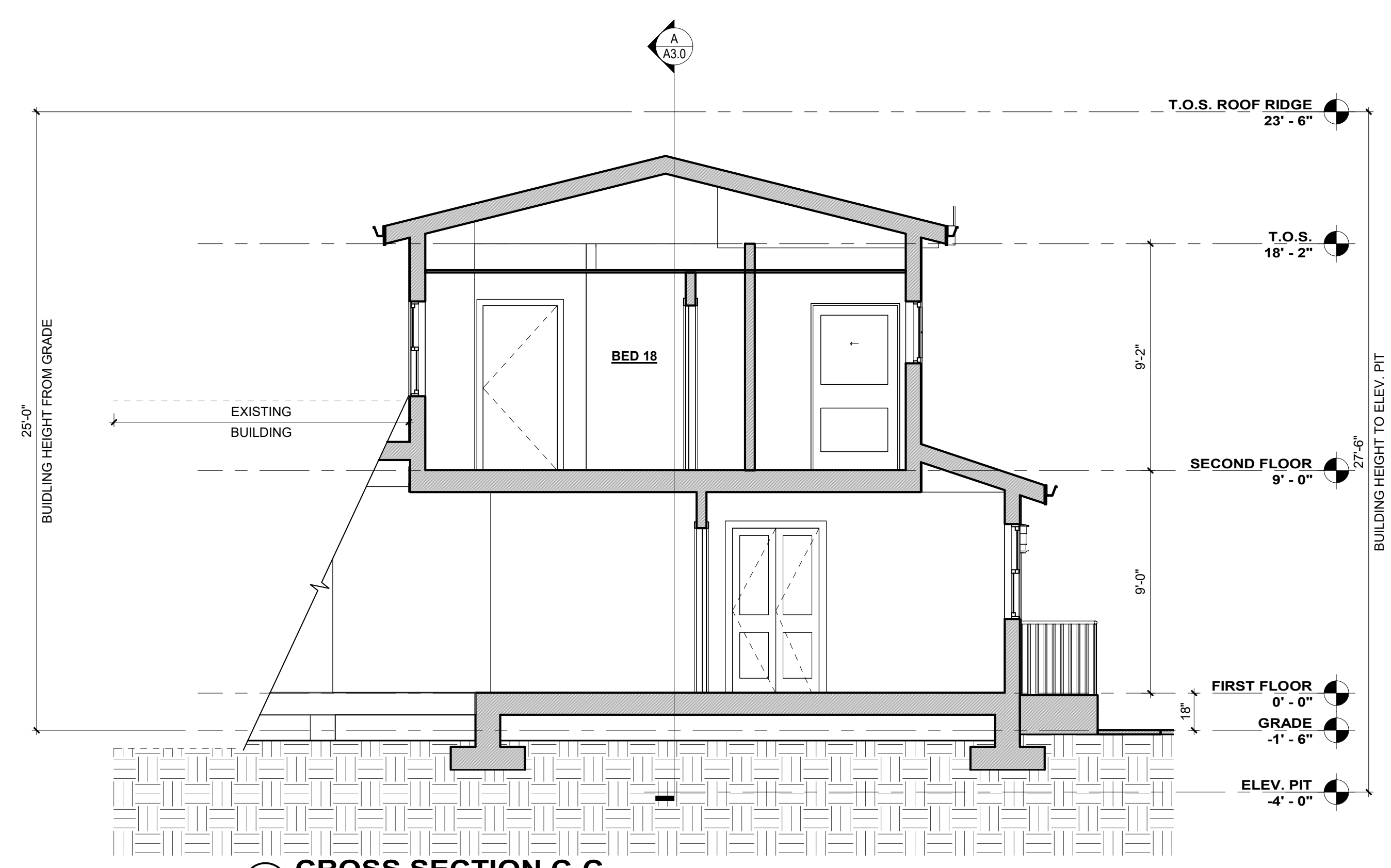
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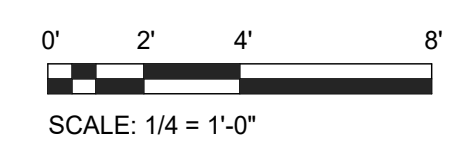
A BUILDING SECTION A-A
SCALE: 1/4" = 1'-0"



B CROSS SECTION B-B
SCALE: 1/4" = 1'-0"



C CROSS SECTION C-C
SCALE: 1/4" = 1'-0"



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BUILDING SECTIONS

SHEET TITLE

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A3.0

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AERIAL VIEWS - EXISTING REMOVALS + NEW

SHEET TITLE

SHEET NO.

A9.0



1 AERIAL VIEW - REMOVALS
SCALE:



2 AERIAL VIEW - NEW
SCALE:

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1 STREET VIEW - FRONT APPROACH
 SCALE:



2 STREET VIEW - FRONT
 SCALE:

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PERSPECTIVE VIEWS - FRONT

SHEET TITLE

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A9.1

10/11/2024 12:13:20 PM

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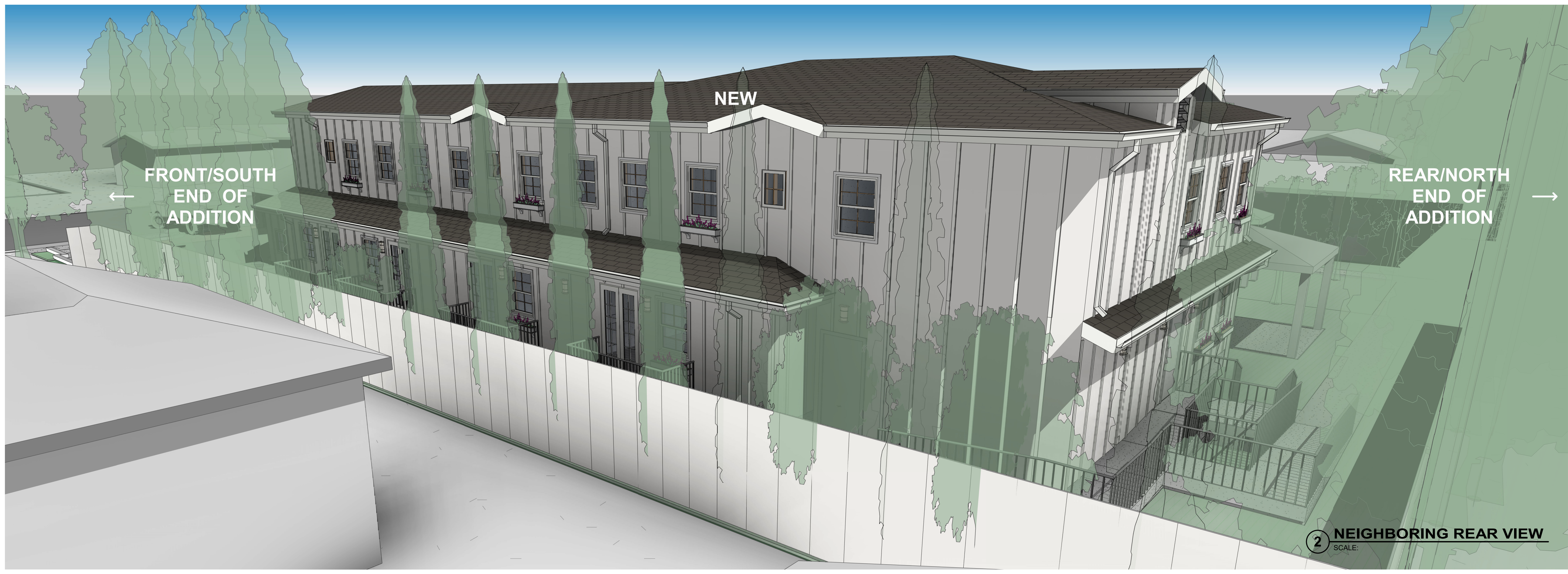
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PERSPECTIVE VIEWS - REAR

SHEET TITLE

SHEET NO.



A9.2

10/11/2024 12:13:50 PM

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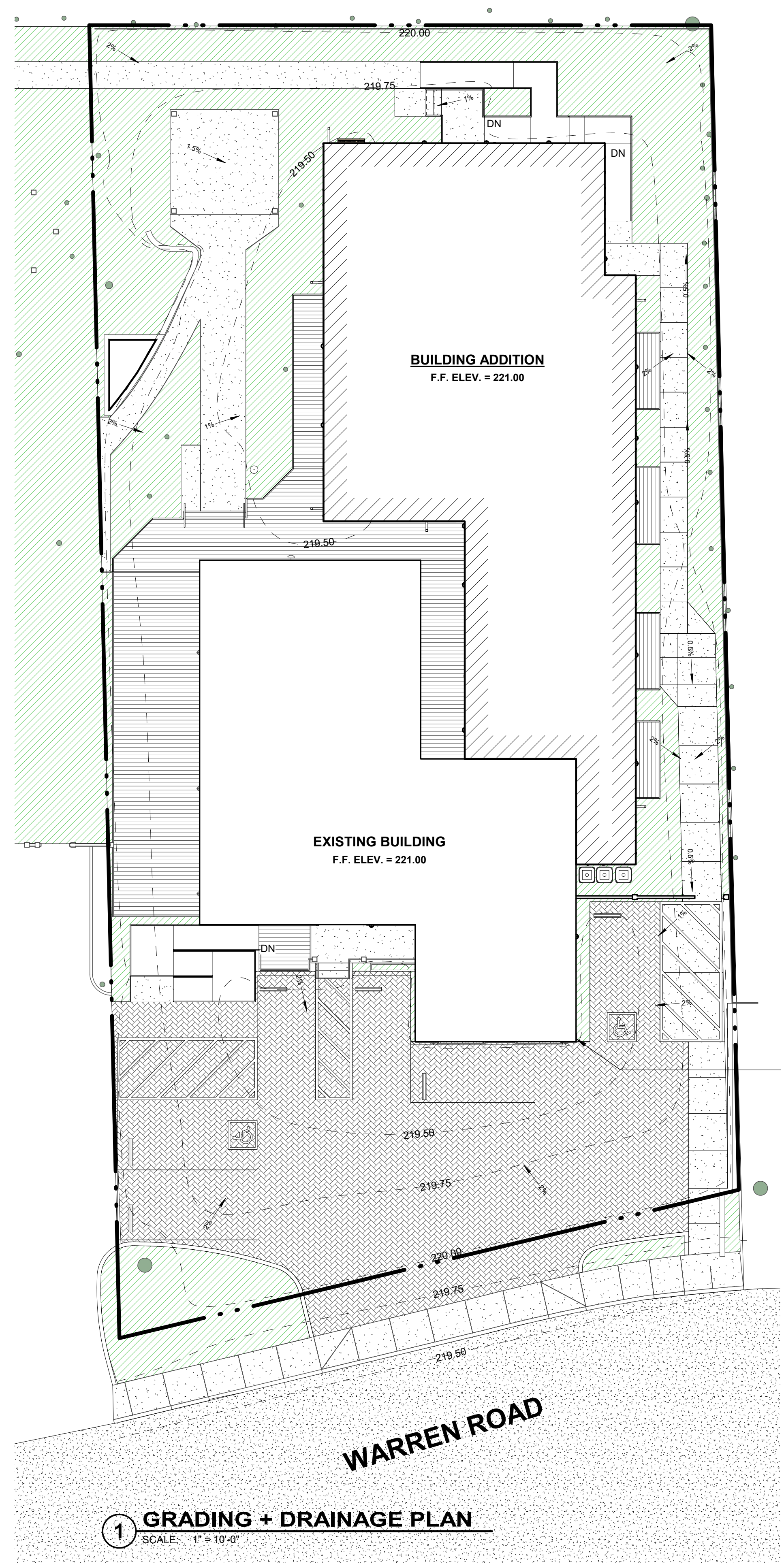
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**CONCEPTUAL GRADING +
 DRAINAGE PLAN**

SHEET TITLE

SHEET NO.

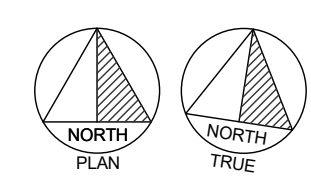
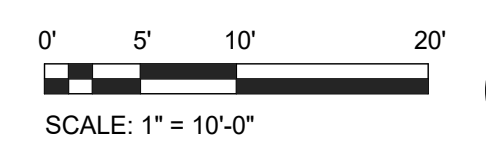
C1.0



LEGEND

SITE CUT =	67.6 CY, NATIVE SOIL
SITE FILL =	33.8 CY, SELECT FILL

- NOTES:**
- EXISTING UTILITIES SHOWN ON PLAN ARE FOR GENERAL INFORMATION ONLY AND DOES NOT CONSTITUTE AN ACTUAL UTILITIES SURVEY. ALL UTILITIES SHALL BE SURVEYED AND MARKED ON THE GROUND PRIOR TO CONSTRUCTION.
 - ALL EXISTING UNDERGROUND UTILITIES SHALL BE PROTECTED IN PLACE DURING CONSTRUCTION.
 - ALL STORM DRAIN INLETS SHALL BE LABELED PER THE COUNTY STANDARD OR APPROVED EQUAL.



1 GRADING + DRAINAGE PLAN
 SCALE: 1" = 10'-0"

10/11/2024 12:13:53 PM

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 LIC. # 720437

STAMP

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REVISIONS/SUBMITTALS

DATE	DESCRIPTION
10/11/2024	LAND USE PERMIT

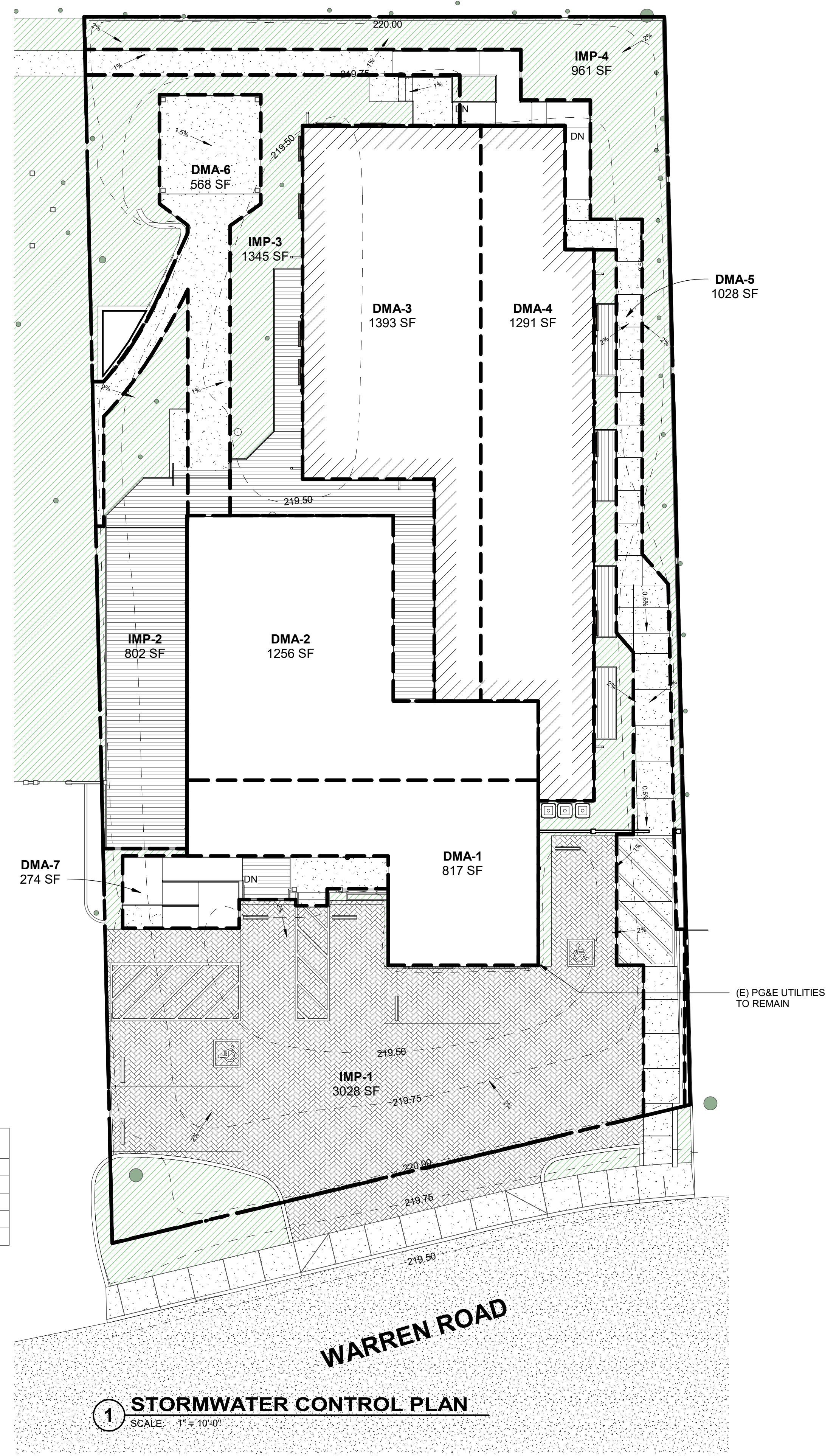
DATE	10/11/2024
SCALE	AS NOTED
PROJECT ID	23004
DRAWN BY	NW
CHECKED BY	JH

STORMWATER CONTROL PLAN

SHEET TITLE

SHEET NO.

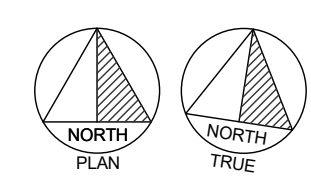
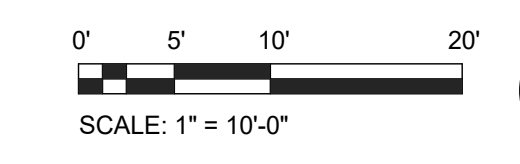
C1.1



DMA SCHEDULE					IMP SCHEDULE		
DMA	AREA	SURFACE	CN POST	DRAINS TO BMP	DMA	AREA	SURFACE
DMA-1	817 SF	ROOF	98	IMP-1	IMP-1	3,028 SF	VEGETATED BUFFER AREA
DMA-2	1,256 SF	ROOF	98	IMP-2	IMP-2	802 SF	VEGETATED BUFFER AREA
DMA-3	1,393 SF	ROOF	98	IMP-3	IMP-3	1,345 SF	VEGETATED BUFFER AREA
DMA-4	1,291 SF	ROOF	98	IMP-4	IMP-4	961 SF	VEGETATED BUFFER AREA
DMA-5	1,028 SF	CONCRETE	98	TOTAL	TOTAL	6,136 SF	
DMA-6	568 SF	CONCRETE	98				
DMA-7	274 SF	CONCRETE	98				
TOTAL	6,625 SF						

LEGEND

DMA-1	DRAINAGE MANAGEMENT AREA - DENOTES IMPERVIOUS SURFACES
IMP-1	INTEGRATED MANAGEMENT PRACTICE



1 STORMWATER CONTROL PLAN
 SCALE: 1" = 10'-0"

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