ABBREVIATIONS

W.P. W.P.J.

W.S.

ASPHALTIC CONCRETE ANCHOR BOLT AIR CONDITIONING ASBESTOS CEMENT PIPE AREA DRAIN ADJUSTABLE ABOVE FINISH FLOOR AGGREGATE A.B. A/C A.D. ADJ. A.F.F. AGG. ALT. ALUM. APPROX. ARCH. ASB. B.D. BLDG. BLKG. B.M. BM BOT. B.U. ALTERNATE LUMINUM APPROXIMATI ARCHITECTURAL ASBESTOS BOARD BUILDING BLOCKING **BENCH MARK** BOTTOM BUILT-UP CENTER LINE CL CAB. C.A.C. C.A.R. C.B. C.E.C. CEM. CER. C.I. C.I.P. C.J. CLO. CONC. CONC. COND. COND. CONN. CONST CONT. CABINET CALIFORNIA ADMINISTRATIVE CODE COLD AIR RETURN CARPET **H** BASIN ALIFORNIA ENERGY CODE EMENT CERAMIC CAST IRON CAST IN PLACE CONSTRUCTION JOINT CEILING CLOSET____ CONCRETE MASONRY UNIT COLUMN CONCRETE CONDITION CONNECTION CONSTRUCTION CONTINUOUS DBL. DEPT DET. D.F. DOUBLE DEPARTMENT DETAIL DOUGLAS FIR DROP INLET D.I. DIA. DIM. DISF D.L. DN DIAMETER DIMENSIO DISPENSER DEAD LOAD DOWN DRWG. D.S. DSP. DW DRAWING DOWNSPOUT DISHWASHER OR DRIVEWAY FAST FXISTING FACH EXPANSION JOINT ELEV. EMERG ENCL. EQ. EQUIP. E.W. EXIST. EXT. ELEVATION EMERGENCY ENCLOSURE EQUAL EQUIPMENT EACH WAY EXISTING EXTERIOR FLOOR LINE FIRE ALARM FLOOR DRAIN FOUNDATION FDN. F.E. FIRE EXTINGUISHER FINISH FLOOP F.H. FIRE HYDRANT FIN. FLASH. FLR. FLUOR. FINISH FLASHING =LOOR(ING LUORÈSCENT F.O. F.O.C. F.O.S. FACE OF CONCRETE FACE OF STUD FT. FTG. FUR. FOOT **FOOTING** -URRED GA. GALV G.B. G.F.I. GAUGE GALVANIZED GRAB BAR GROUND FAULT INTERRUPTER GLASS Ğ.L.B GYP. GLU LAM BEAM GYPSUM H.B. H.C. HDR. HGT. H.M. HOSE BIBB HOLLOW CORE HEADER HEIGHT HOLLOW METAL HORIZ. HORIZONTAL HEATING, VENTILATING & AIR CONDITIONING HVAC. INCHES INFORMATION INFO. INSUL INT. INSULATION

LAM. LAT. LAV. LBS. L.F. L.L.	LAMINATED OR LAMINATE LATERAL LAVATORY POUNDS LINEAL FEET LIVE LOAD
MAX. M.B. M.C. MECH. MEZZ. MFR. MIN. MISC. MTL.	MAXIMUM MACHINE BOLT MEDICINE CABINET MANHOLE MECHANICAL MEZZANINE MANUFACTURER MINIMUM MISCELLANEOUS METAL
N (N) N.E.C. N.L. NO. NOM. N.T.S.	NORTH NEW NATIONAL ELECTRICAL CODE NOT IN CONTRACT NIGHT LIGHT NUMBER NOMINAL NOT TO SCALE
Ó.C. O.F.D. O.H. OPNG. OPP.	OVENS OVER OVERALL OBSCURE ON CENTER OVERFLOW DRAIN OVERHEAD OPENING OPPOSITE
PL P.L. PLUMB. PLY. PR. P.S.I. PT.	PROPERTY LINE PLATE OR PLATE LINE PLUMBING PLYWOOD PAIR POUNDS PER SQUARE INCH POINT
R R.D. REF. REG. REINF. REQ'D. RESIL. RM. R.O. R.O.W. RW.L.	RADIUS ROOF DRAIN REINFORCED CONCRETE PIPE REFRIGERATOR REGISTER REINFORCED OR REINFORCIN REQUIRED RESILIENT ROOM ROUGH OPENING RIGHT OF WAY REDWOOD RAIN WATER LEADER
R.W.L. S.C. SCHED. SCR. SEC. SEL. SF. SHT. SHWR. SIM. SIM. SIM. SIM. SIM. SIM. SIM. SIM	SOUTH SOLID CORE SCHEDULE SCREEN SECTION SELECT SQUARE FEET SHOWER SIMILAR SLIDING SPECIFICATION SQUARE SANITARY SEWER SEE STRUCTURAL DRAWINGS STANDARD STEEL STORAGE
T.C. TEL. TEMP. T.& G. T.L. TOIL. T.O.S. T.P. T.S. T.V. T.YP. TYP.	TOP OF CURB TELEPHONE TEMPERED TONGUE & GROOVE TOTAL LOAD TOILET TOP OF STRUCTURE TOILET PAPER TUBE STEEL TELEVISION TYPICAL
U.B.C. U.F.C. U.M.C. U.N.O. U.P.C. VERT. VEST. VTR.	UNIFORM BUILDING CODE UNIFORM FIRE CODE UNIFORM MECHANICAL CODE UNIFORM MECHANICAL CODE UNIFORM PLUMBING CODE VERTICAL VESTIBULE VENT THRU ROOF
W W/ WD. W/O W.H. W.C. W.P.	WEST WITH WOOD WITHOUT WATER HEATER WATER CLOSET WATERPROOF

WATERPROOF WEAKENED PLANE JOINT

WATER SERVICE

LEGEND		
_x 1	135.0'	EXISTING POINT ELEVATION (PLAN)

*			
135.0'	NEW OR REC	QUIRED POINT ELEVATION	
182	EXISTING CONTOURS ELEVATION NOTED ON HIGH SIDE		
182	NEW CONTOURS ELEVATION NOTED ON HIGH SIDE		
-•-	DIMENSION F	REFERENCE POINT OR LEVEL LINE	
	REVISION		
#	DOOR TYPE		
(#)	WINDOW NU	MBER	
		FERENCE GRIDS OR DESIGNATION	
(X) A1	DETAIL WITH REFERENCE	I SHEET NUMBER	
101	ROOM/SPAC	ENUMBER	
354	EQUIPMENT	NUMBER	
+9'-0"	CEILING HEI	GHT	
X A1	BUILDING SECTION WITH REFERENCE SHEET NUMBER		
	WALL SECTION OR INTERIOR ELEVATION WITH REFERENCE SHEET NUMBER		
N PLAN	PLAN NORTH POINT TO BE PLACED ON EACH PLAN SHEET		
()	TRUE NORTH TO BE PLACE	H ED ON EACH SITE PLAN SHEET	
UP 17 R 11 1/2" T	\longrightarrow	STAIR DIRECTION SYMBOL	
DASH & DOT LINE		CENTER LINES, FLOOR LINES, IN EXTERIOR ELEVATIONS, PROJECTED LINES	
DASH & DOUBLE		PROPERTY LINES, BOUNDARY LINES	
DASHED LINE		HIDDEN LINES	
BREAK LINE	<u>/</u>	CUT LINE MEANS DRAWING CONTINUES	
	TE	INDICATION ARROWS	
INDICATES E		$ \begin{array}{c} \searrow \\ 5 \\ -1 \\ -1 \\ -1 \end{array} \xrightarrow{A3} \leftarrow \begin{array}{c} \text{Section} \\ \text{Letter} \longrightarrow \\ A3 \\ -1 \\ -1 \end{array} \xrightarrow{A3} \leftarrow \begin{array}{c} \text{Section} \\ -1 \\ -1 \\ -1 \\ -1 \\ -1 \end{array} \xrightarrow{A3} \leftarrow \begin{array}{c} \text{Section} \\ -1 \\ -1 \\ -1 \\ -1 \\ -1 \\ -1 \\ -1 \\ -$	

INDICATES SHEET ON WHICH SECTION IS SHOWN

CONTACT INFORMATION

OWNER: CARNELIAN ASSISTED LIVING P: 925.938.0200

DETAIL IS SHOWN

CONTRACTOR: JAMES HUSTON

HGCI 101 LUCAS VALLEY RD, SUITE 150 SAN RAFAEL, CA 94903 P: 415.509.0304

ARCHITECT: NATHAN WATKINS HGCI 101 LUCAS VALLEY RD, SUITE 150 SAN RAFAEL, CA 94903 P: 415.300.6392

CODES

INTERIOR

THE NEW CONSTRUCTION IN THIS PROJECT SHALL COMPLY WITH THE CALIFORNIA ADMINISTRATIVE CODE TITLE 24 (2022) AS ADOPTED BY THE LOCAL GOVERNING AGENCY AND THE FOLLOWING:

2022 CALIFORNIA BUILDING CODE · 2022 CALIFORNIA MECHANICAL CODE

- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE

SCOPE OF WORK

RESIDENTIAL 2,665 SF ADDITION TO AN EXISTING (R-2.1) ASSISTED LIVING CARE FACILITY THE ADDITION WILL INCLUDE: A NEW CONCRETE SLAB-ON-GRADE; NEW WOOD FRAME CONSTRUCTION TO MATCH EXISTING BUILDING; MECHANICAL WORK; ELECTRICAL WORK; PLUMBING WORK; AND A NEW ROOF. NEW ADDITION WILL REQUIRE REMOVAL OF EXISTING WOOD FRAMING AND MINOR SOILS REMOVAL FOR THE FOOTINGS AT THE RAISED FOUNDATION.

3 BEDS / 1 SPACE

PROJECT INFORMATION

APN/LOT 184-120-071

PARCEL AREAS LOT 071 = 12,763 SF (.29 ACRES)

ZONING DISTRICTS R-10 ZONING

UNINCORPORATED CONTRA COSTA COUNTY

BUILDING HEIGHT AND SETBACKS R-10 = 2.5 STORIES OR 35FT MAX. FRONT YARD = 20FT SIDE YARDS = 10FT

REAR YARD = 15FT LOT COVERAGE

R-10 5.5-7.2 UNITS PER ACRE (2.5-3 PERSONS/ UNIT) M-29 = 35% MAX. LOT COVERAGE

REQUIRED PARKING PARKING SPACES REQUIREMENTS:

TOTAL PROPOSED BEDS FOR THIS PROJECT: PARKING SPACES REQUIRED: PARKING SPACES PROVIDED

PLANNING AREAS

EXISTING RESIDENTIAL CARE FACILITY, CONGREGATE HOUSING, ASSISTED LIVING

SETBACK REQUIREMENTS 25' FRONT YARD SETBACK 10' SIDE YARD SETBACKS

15' REAR YARD SETBACK **BUILDING AREAS (R-2.1)** EXISTING BUILDING 1 AREA (071) 2,072 SF EXPANSION/ADDITION AREA: 2,665 SF

TOTAL BUILDING AREAS: 4,737 SF ALLOWABLE AREA (S13R SPRINKLER): 10,500 SF

CONSTRUCTION TYPE TYPE V-A

NUMBER OF STORIES

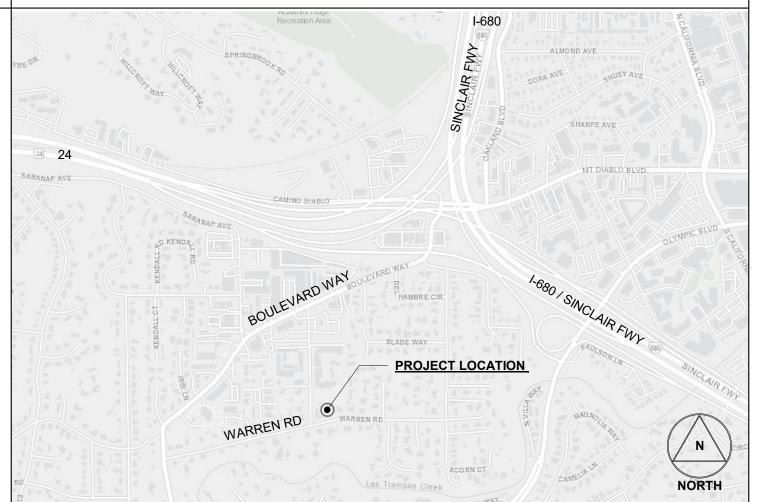
TWO

OCCUPANCY TYPE R-2.1, RESIDENTIAL CARE FACILITIES FOR THE ELDERLY (RCFE) ADULT RESIDENTIAL FACILITIES

OCCUPANCY GROUP **RESIDENTIAL (200 GROSS)** (PER TABLE 1004.5)

DEFERRED SUBMITTALS FIRE SPRINKLER FIRE ALARM

VICINITY MAP



02 -- __ <u>N89" 55'E_</u> 306.56 (79) 01 37 A service of the serv

SHEET INDEX

TITLE SHEETS

<u></u>	
A0.0 A0.1 A0.2	COVER SHEET EXISTING SITE PHOTOS SHADOW STUDY
	HITECTURAL
A1.0	CONTEXT MAP
A1.1	SITE PLAN + TREE REMOVAL + TREE PROTE
A1.2	FIRST FLOOR PLAN + SECOND FLOOR PLAN
A2.0	EXTERIOR BUILDING ELEVATIONS
A3.0	BUILDING SECTIONS
A9.0	AERIAL VIEWS - EXISTING REMOVALS + NEW
A9.1	PERSPECTIVE VIEWS - FRONT
A9.2	PERSPECTIVE VIEWS - REAR
<u>CIVIL</u>	<u>-</u>

C1.0 CONCEPTUAL GRADING + DRAINAGE PLAN C1.1 STORMWATER CONTROL PLAN

<u>LANDSCAPE</u>

L1.0 LANDSCAPE + IRRIGATION PLAN





RECEIVED on 10/11/2024 CDLP23-02046 By Contra Costa County Department of Conservation and Development

ASSESSOR'S BLOCK MAP



WARREN

ECTION PLAN





THE CARNELIAN ASSITED LIVING FACILITY EXPANSION

APN # 184-120-071

PROJECT ADDRESS 2374 WARREN RD WALNUT CREECK, CA 94595

> MANAGED BY: HGCI **B-GENERAL BUILDING** CONTRACTOR LIC. # 720437

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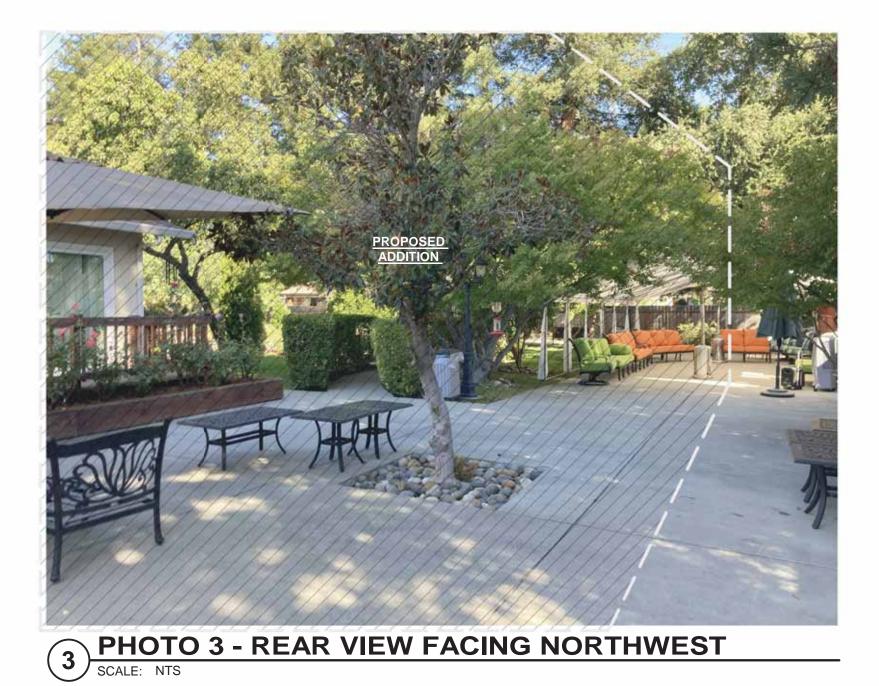
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DATE		10/11/2024
SCALE		AS NOTED
PROJECT	ID	23004
DRAWN BY		NW
CHECKED	BY	JH

COVER SHEET

SHEET TITLE

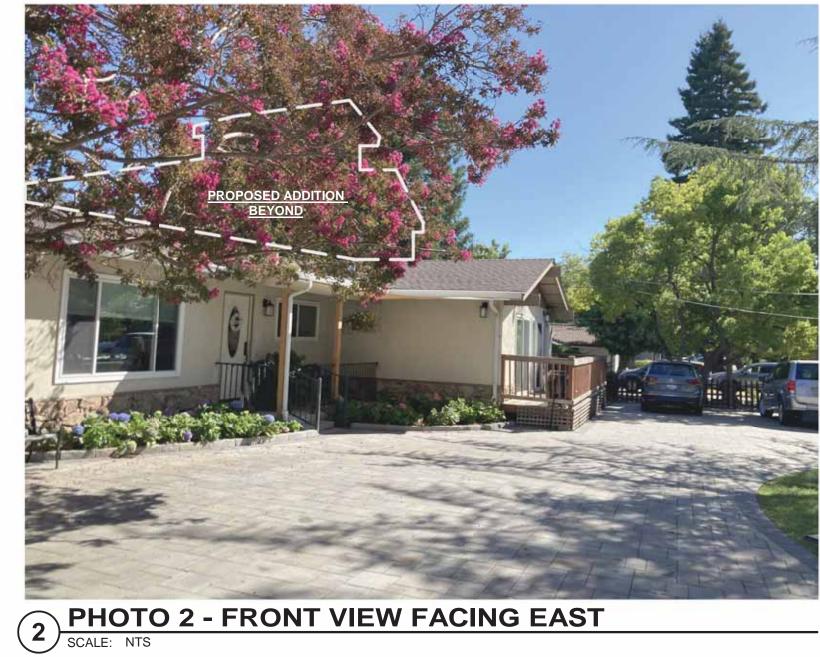


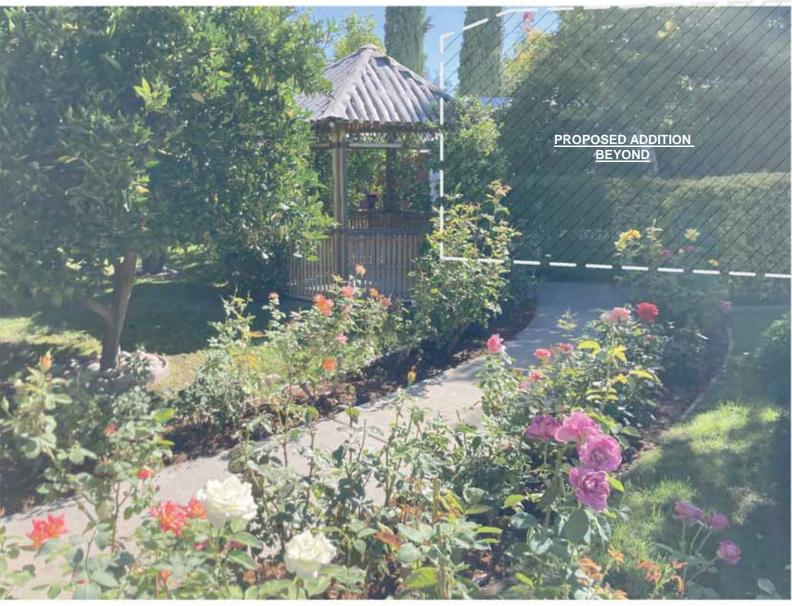
1 PHOTO 1 - FRONT VIEW ALONG WARREN RD SCALE: NTS



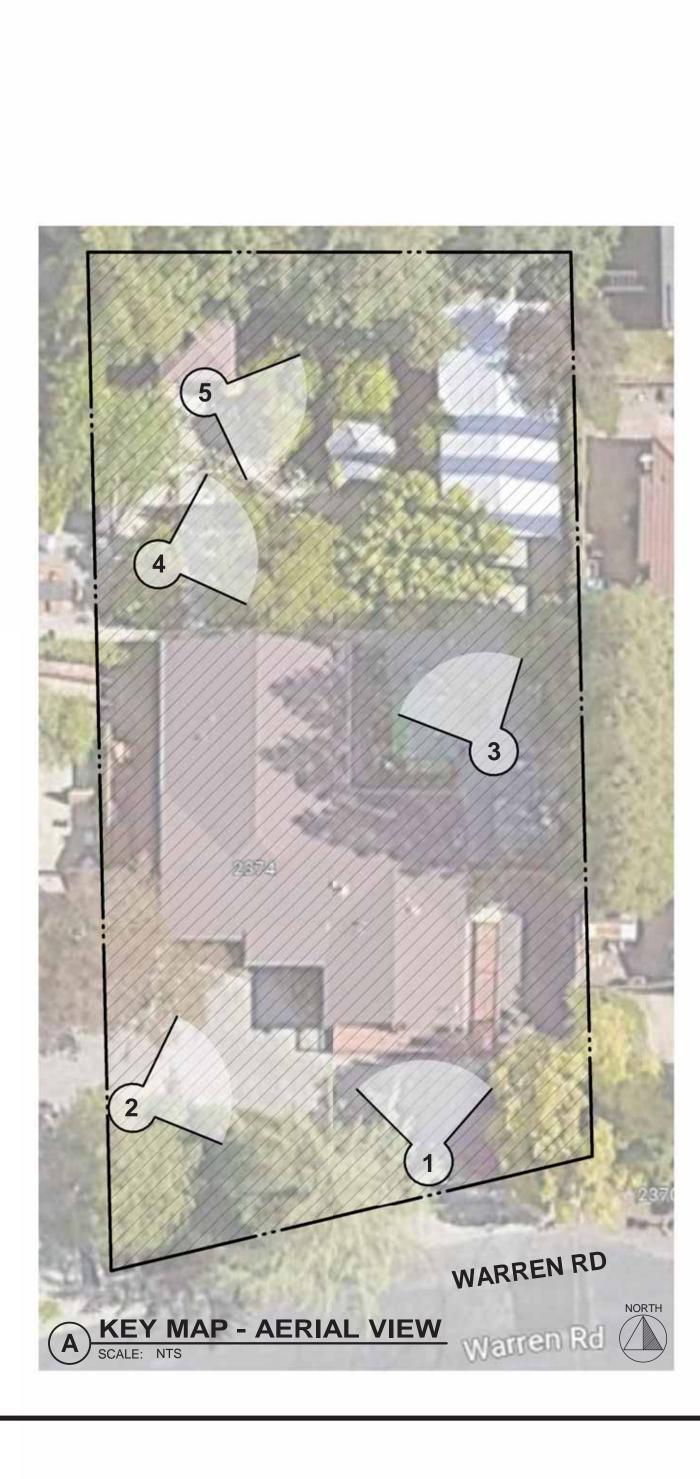








4 PHOTO 4 - REAR VIEW FACING EAST NORTHEAST SCALE: NTS







THE CARNELIAN ASSITED LIVING FACILITY EXPANSION

APN # 184-120-071

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> MANAGED BY: HGCI B-GENERAL BUILDING CONTRACTOR LIC. # 720437

WHETHER

10/11/2024

DATE

SCALE

PROJECT ID

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AS NOTED

23004

CONTRACTING FIRM OTHER THAN HGCI TO PERFORM THE

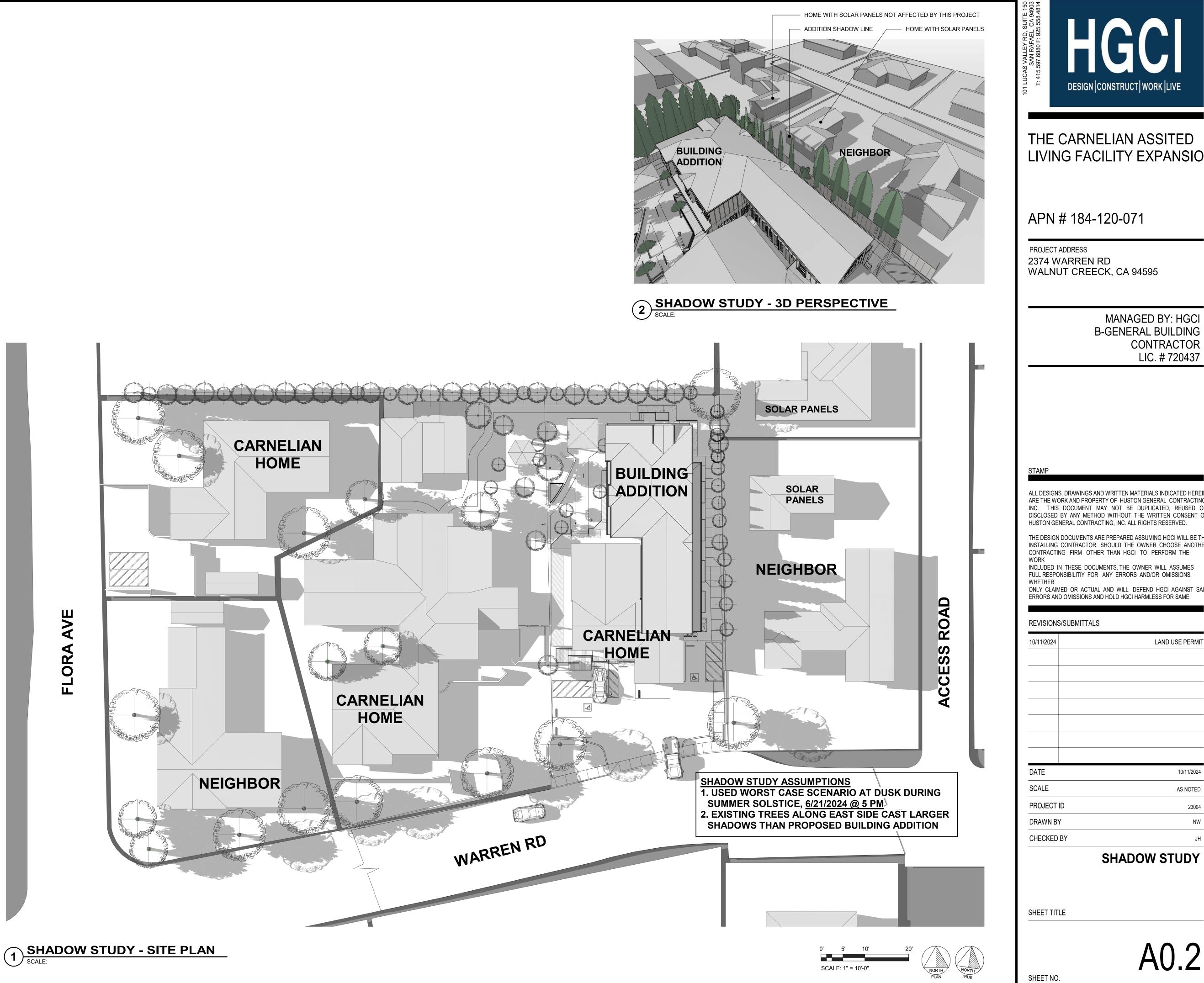
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EXISTING SITE PHOTOS



AVE **OR** Ē

A0.2

SHADOW STUDY

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SCALE		AS NOTED
DATE		10/11/2024

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CONTRACTOR LIC. # 720437

THE CARNELIAN ASSITED LIVING FACILITY EXPANSION







APN # 184-120-071

PROJECT ADDRESS 2374 WARREN RD WALNUT CREECK, CA 94595

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CTVW

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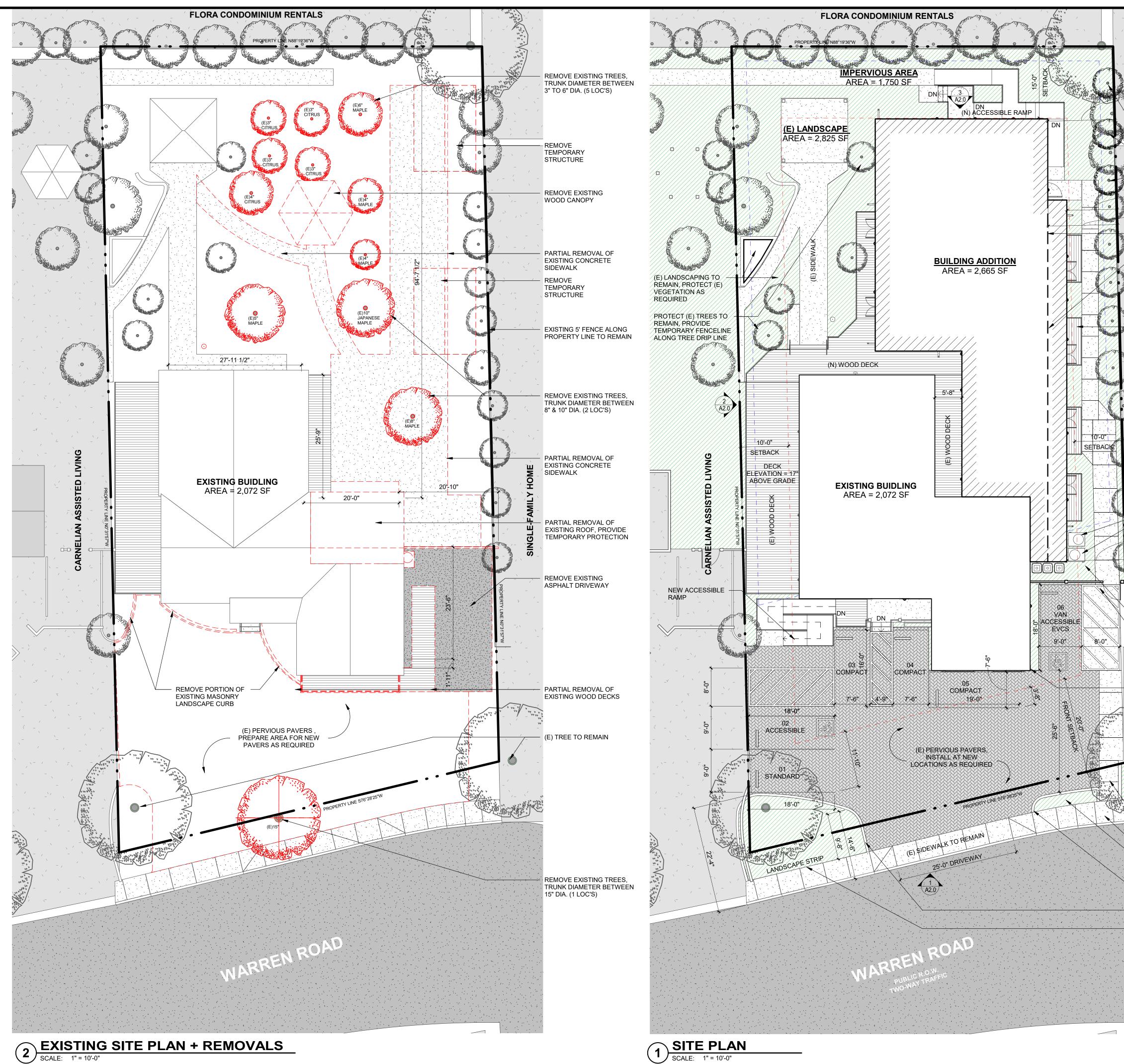
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CONTEXT MAP

A1.0





14'-1" FIRST STORY BUILDING SETBACK

NEW CYPRESS TREES (3 LOCATIONS) 10'-5 1/2" FIRST STORY BUILDING SETBACK

_14'-5 1/2" SECOND STORY BUILDING SETBACK

SECOND STORY 4 FT OFFSET FROM FIRST STORY

DECK ELEVATION = 17" ABOVE GRADE, TYP.

MECHANICAL EQUIPMENT 12'-3 1/2" FIRST STORY BUILDING SETBACK

TRASH BIN AREA

NEW 6' FENCE AND EGRESS GATE TO MATCH EXISTING (E) PG&E UTILITIES TO REMAIN

NEW SIDEWALK ACCESS TO PUBLIC SIDEWALK (E) SIDEWALK TO REMAIN NEW LANDSCAPE BUFFER

NEW CONCRETE CURBS TO BE 6" x 6" NEW LANDSCAPE BUFFER

PARKING PROVIDED		
PARKING TYPE	QTY.	
CCESSIBLE PARKING	1	
CCESSIBLE VAN PARKING -	+ EVCS 1	
OMPACT PARKING	3	
TANDARD PARKING	1	
OTAL SHOWN	6	
	-	

SCALE: 1" = 10'-0"





THE CARNELIAN ASSITED LIVING FACILITY EXPANSION

APN # 184-120-071

PROJECT ADDRESS 2374 WARREN RD WALNUT CREECK, CA 94595

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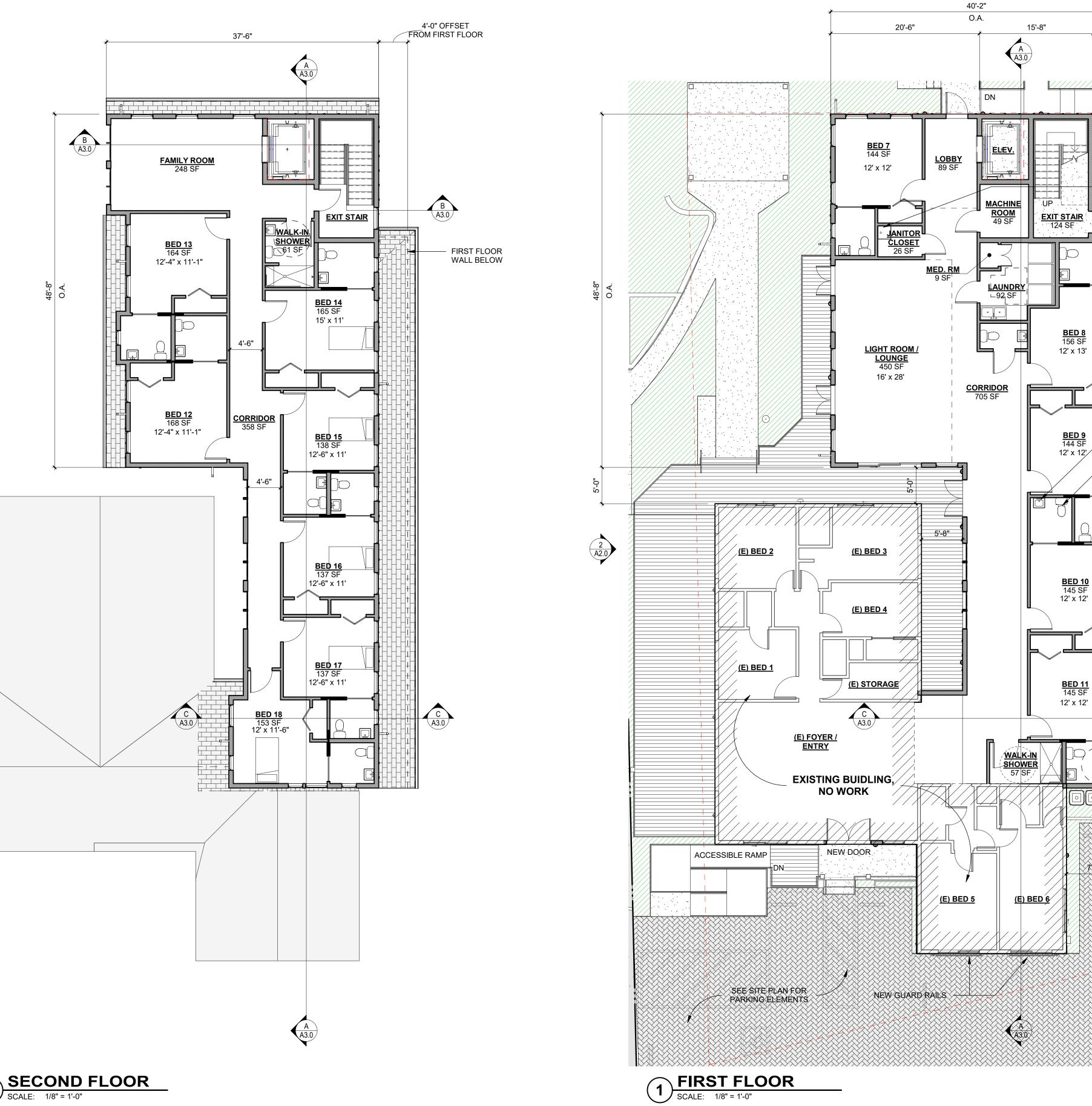
SITE PLAN + TREE REMOVAL + TREE PROTECTION PLAN

SHEET TITLE

SHEET NO.

NORTH

NORTH PLAN









APN # 184-120-071

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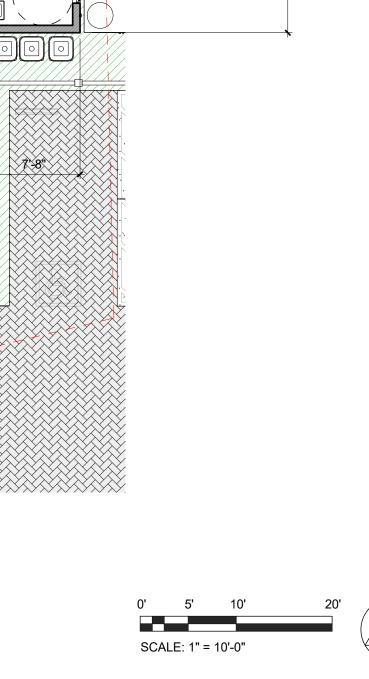
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FIRST FLOOR PLAN + SECOND FLOOR PLAN

SHEET TITLE



C (A3.0)

4'-0"

<u>BED 8</u> 156 SF 12' x 13'

<u>BED 9</u> 144 SF

12' x 12'⁄

<u>BED 10</u> 145 SF 12' x 12'

<u>BED 11</u> 145 SF

12' x 12'

22"x22" MOP SINK, STAINLESS STEEL, TYP.

17" WALL HUNG SINK, ACCESSIBLITY COMPLIANT, TYP.

N N

FLOOR MOUNTED TOILET, ACCESSBILITY COMPLIANT, TYP.



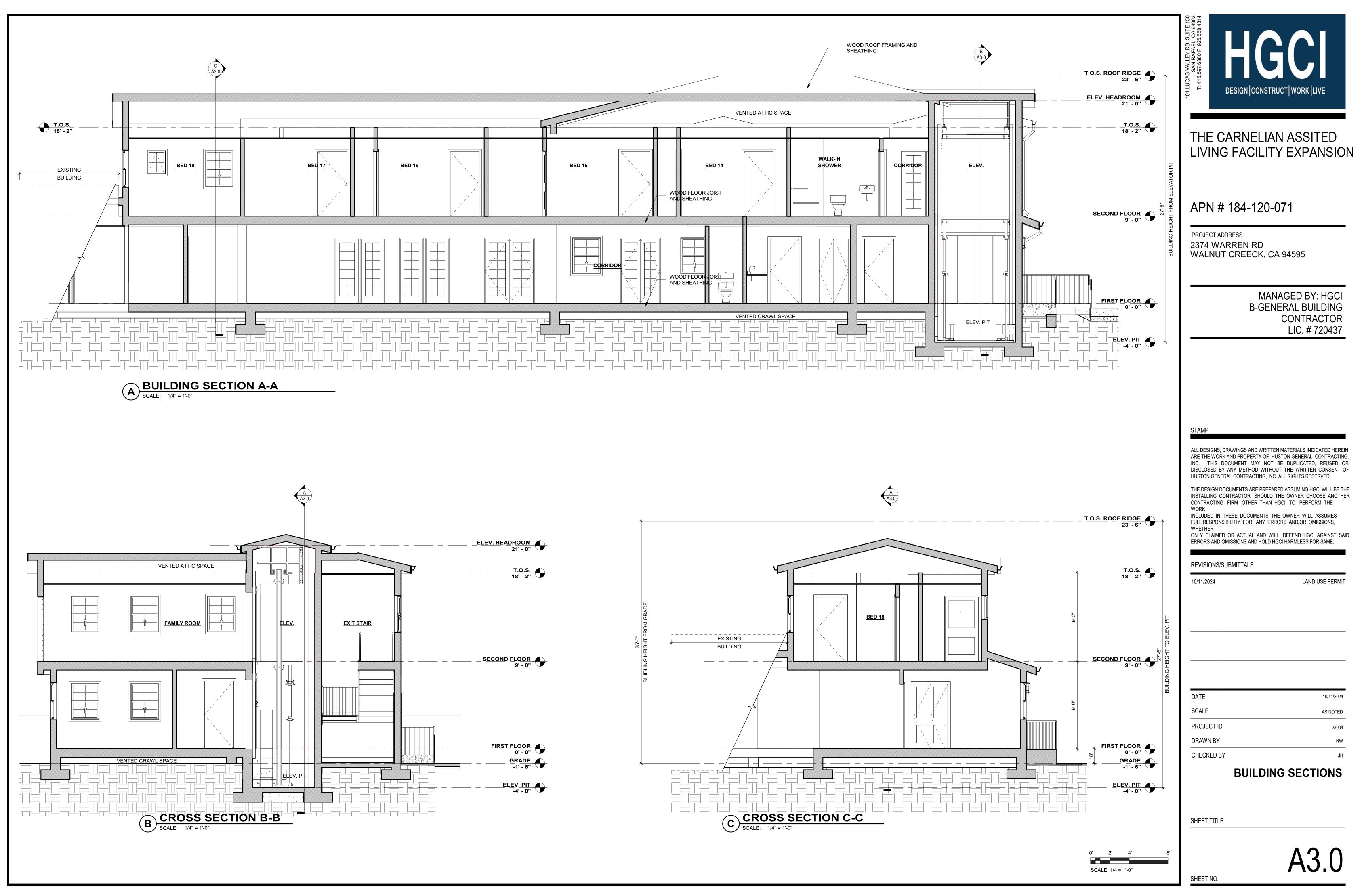
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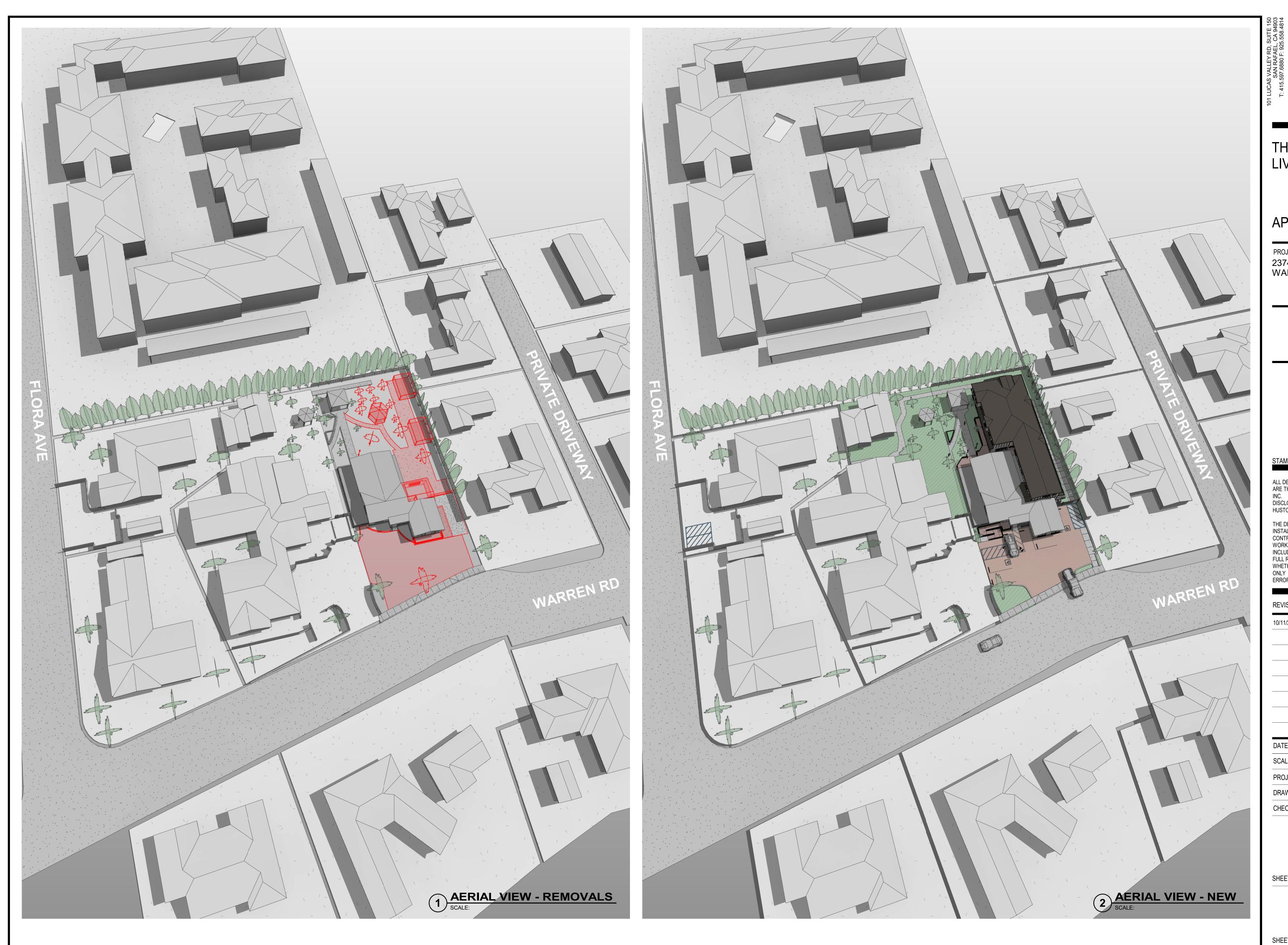
NORTH

PLAN











APN # 184-120-071

PROJECT ADDRESS 2374 WARREN RD WALNUT CREECK, CA 94595

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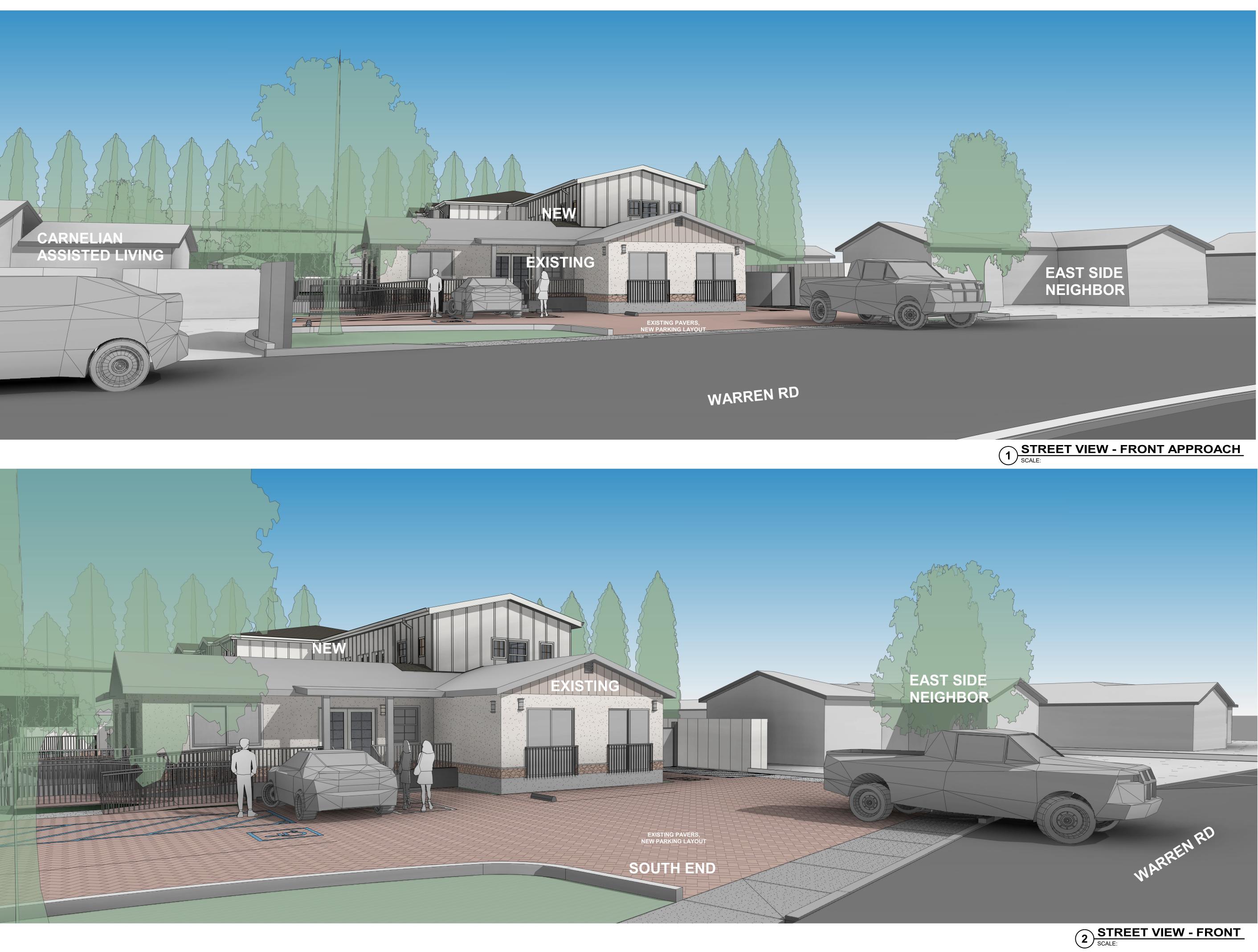
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AERIAL VIEWS - EXISTING REMOVALS + NEW

SHEET TITLE



CARNELIAN ASSISTED LIVING





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SUITE 150 , CA 94903 5.558.4814

DESIGN CONSTRUCT WORK LIVE

THE CARNELIAN ASSITED

APN # 184-120-071

2374 WARREN RD WALNUT CREECK, CA 94595

PROJECT ADDRESS

LIVING FACILITY EXPANSION

MANAGED BY: HGCI B-GENERAL BUILDING

CONTRACTOR

LIC. # 720437

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10/11/2024

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PROJECT	ID	23004
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PERSPECTIVE VIEWS -

FRONT

A9.1





RD, SUITE 15(AEL, CA 94900 : 925.558.481⁴

THE CARNELIAN ASSITED LIVING FACILITY EXPANSION

APN # 184-120-071

PROJECT ADDRESS 2374 WARREN RD WALNUT CREECK, CA 94595

> MANAGED BY: HGCI B-GENERAL BUILDING CONTRACTOR LIC. # 720437

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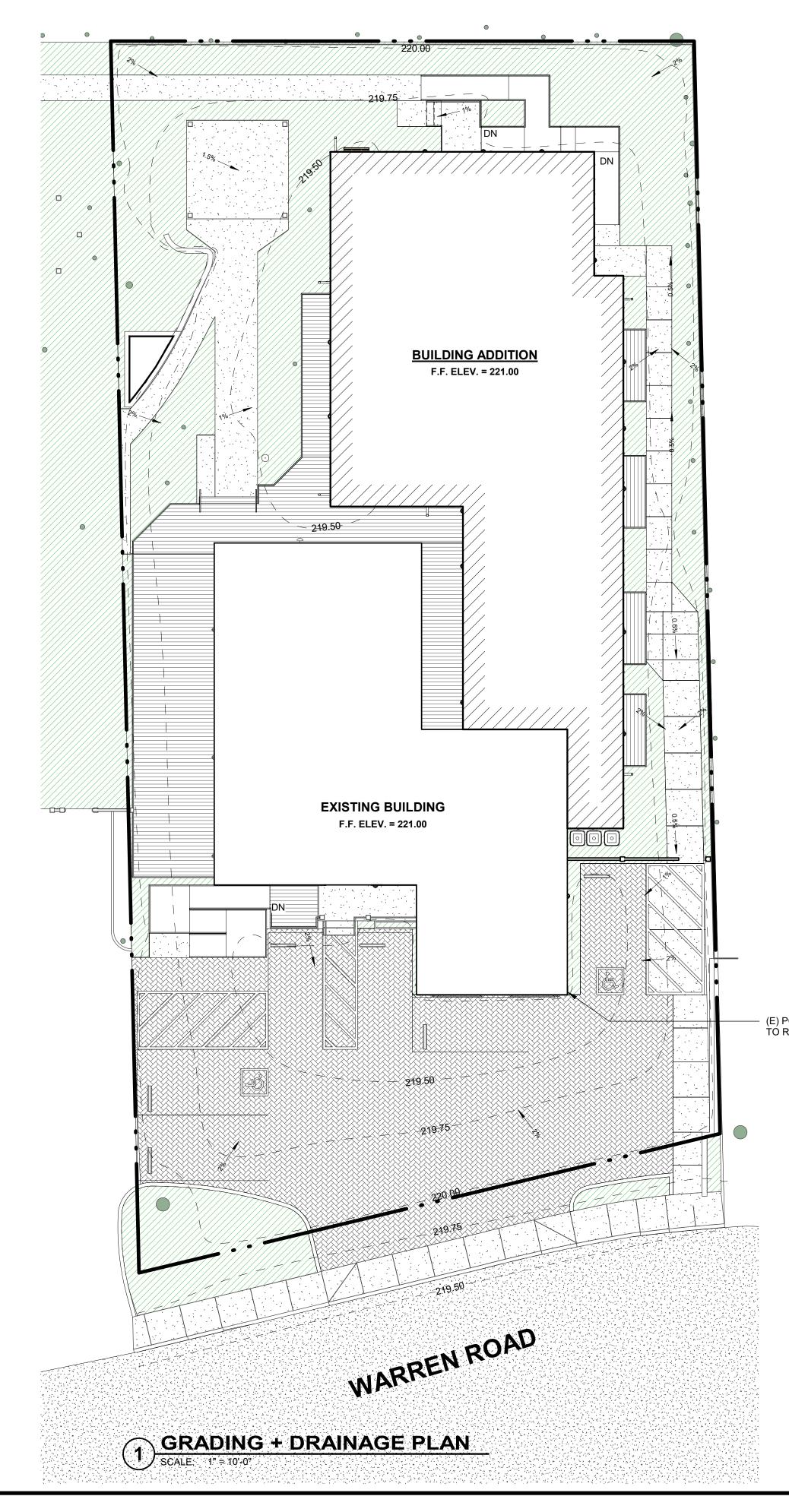
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DATE 10/11/2024 SCALE AS NOTED PROJECT ID 23004 DRAWN BY

CHECKED BY

PERSPECTIVE VIEWS - REAR

A9.2





APN # 184-120-071

PROJECT ADDRESS 2374 WARREN RD WALNUT CREECK, CA 94595

> MANAGED BY: HGCI B-GENERAL BUILDING CONTRACTOR LIC. # 720437

STAMP

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REVISIONS/SUBMITTALS

10/11/2024

LAND USE PERMIT

DATE		10/11/2024
SCALE		AS NOTED
PROJECT ID		23004
DRAWN BY		NW
CHECKED BY		JH

CONCEPTUAL GRADING + DRAINAGE PLAN

C1.0

SHEET TITLE

SHEET NO.

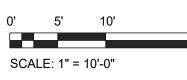
(E) PG&E UTILITIES TO REMAIN

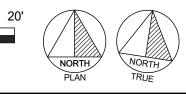
LEGEND

SITE CUT = 67.6 CY, NATIVE SOIL

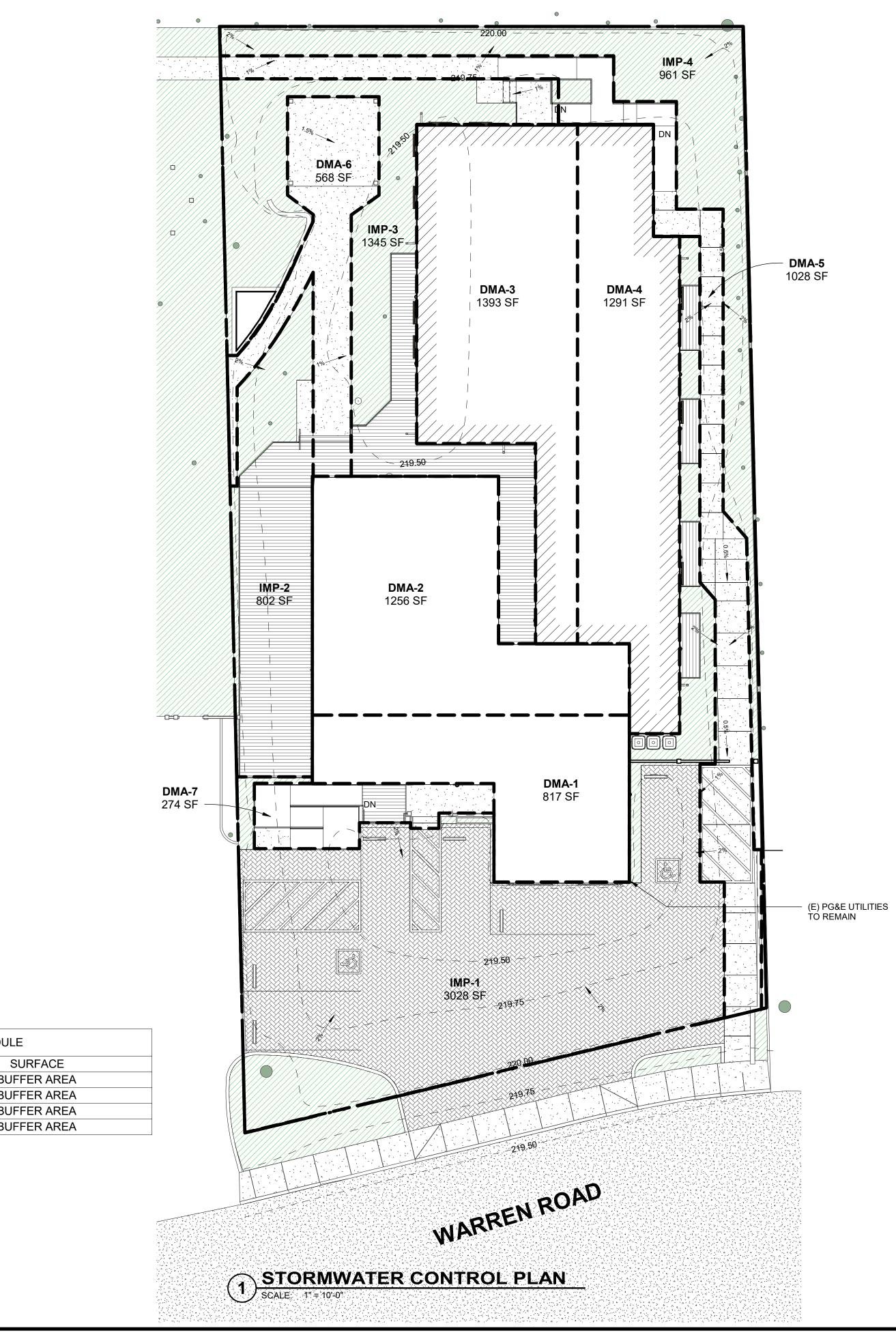
SITE FILL = 33.8 CY, SELECT FILL

NOTES: 1. EXISTING UTILITIES SHOWN ON PLAN ARE FOR GENERAL INFORMATION ONLY AND DOES NOT CONSTITUTE AN ACTUAL UTILITIES SURVEY. ALL UTILITIES SHALL BE SURVEYED AND MARKED ON THE GROUND PRIOR TO CONSTRUCTION. 2. ALL EXISTING UNDERGROUND UTILITIES SHALL BE PROTECTED IN PLACE DURING CONSTRUCTION. 3. ALL STORM DRAIN INLETS SHALL BE LABELED PER THE COUNTY STANDARD OR APPROVED EQUAL.





	DMA SCHEDULE					IMP SCHEDUL		
			CN	DRAINS	DMA	AREA	S	
DMA	AREA	SURFACE	POST	TO BMP	IMP-1	3,028 SF	VEGETATED BUF	
DMA-1	817 SF	ROOF	98	IMP-1	IMP-2	802 SF	VEGETATED BUF	
DMA-2	1,256 SF	ROOF	98	IMP-2	IMP-3	1,345 SF	VEGETATED BUF	
DMA-3	1,393 SF	ROOF	98	IMP-3	IMP-4	961 SF	VEGETATED BUP	
DMA-4	1,291 SF	ROOF	98	IMP-4	TOTAL	6,136 SF		
DMA-5	1,028 SF	CONCRETE	98	IMP-4		·		
DMA-6	568 SF	CONCRETE	98	IMP-3				
DMA-7	274 SF	CONCRETE	98	IMP-1				
TOTAL	6,625 SF		I		-			





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CHECKED	BY			JH

STORMWATER CONTROL

PLAN

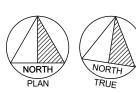
SHEET TITLE

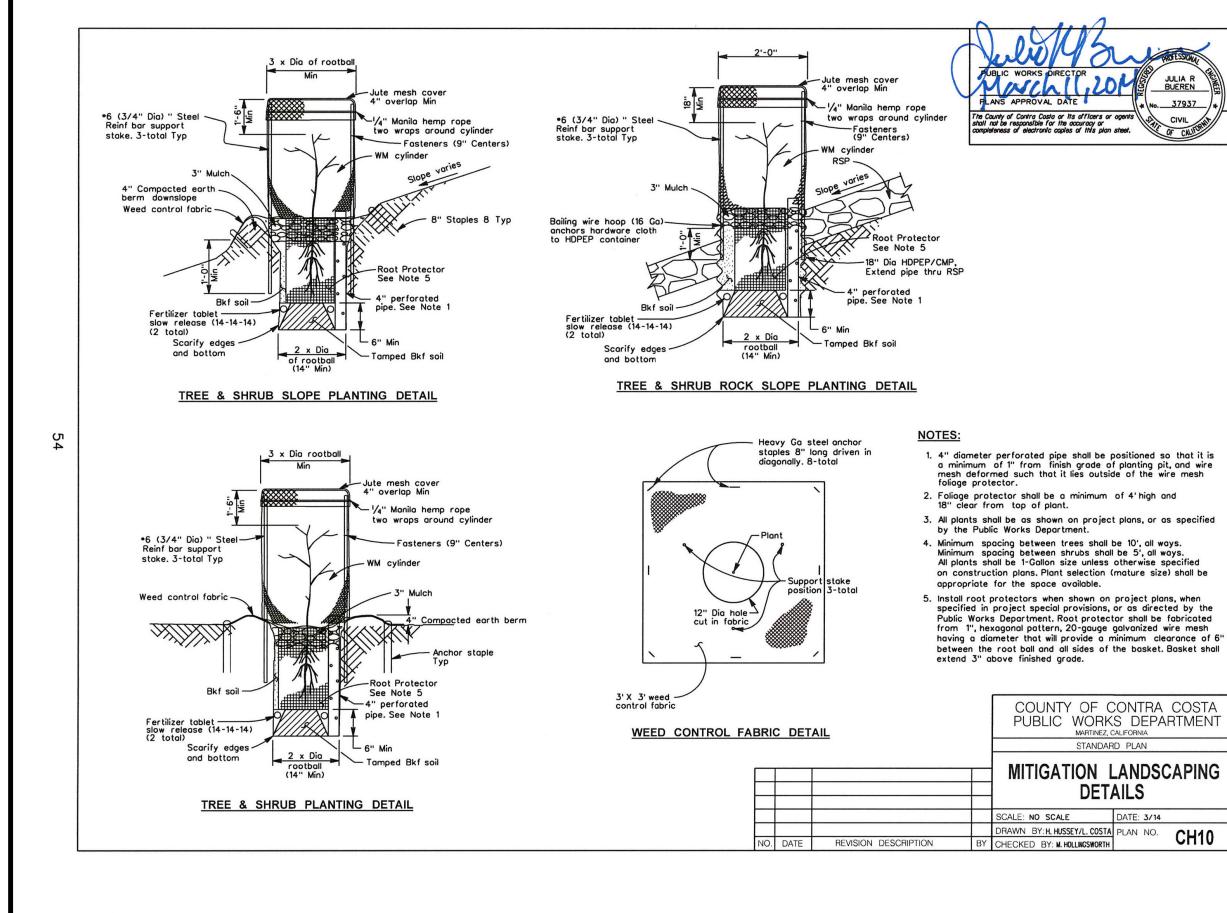
LEGEND

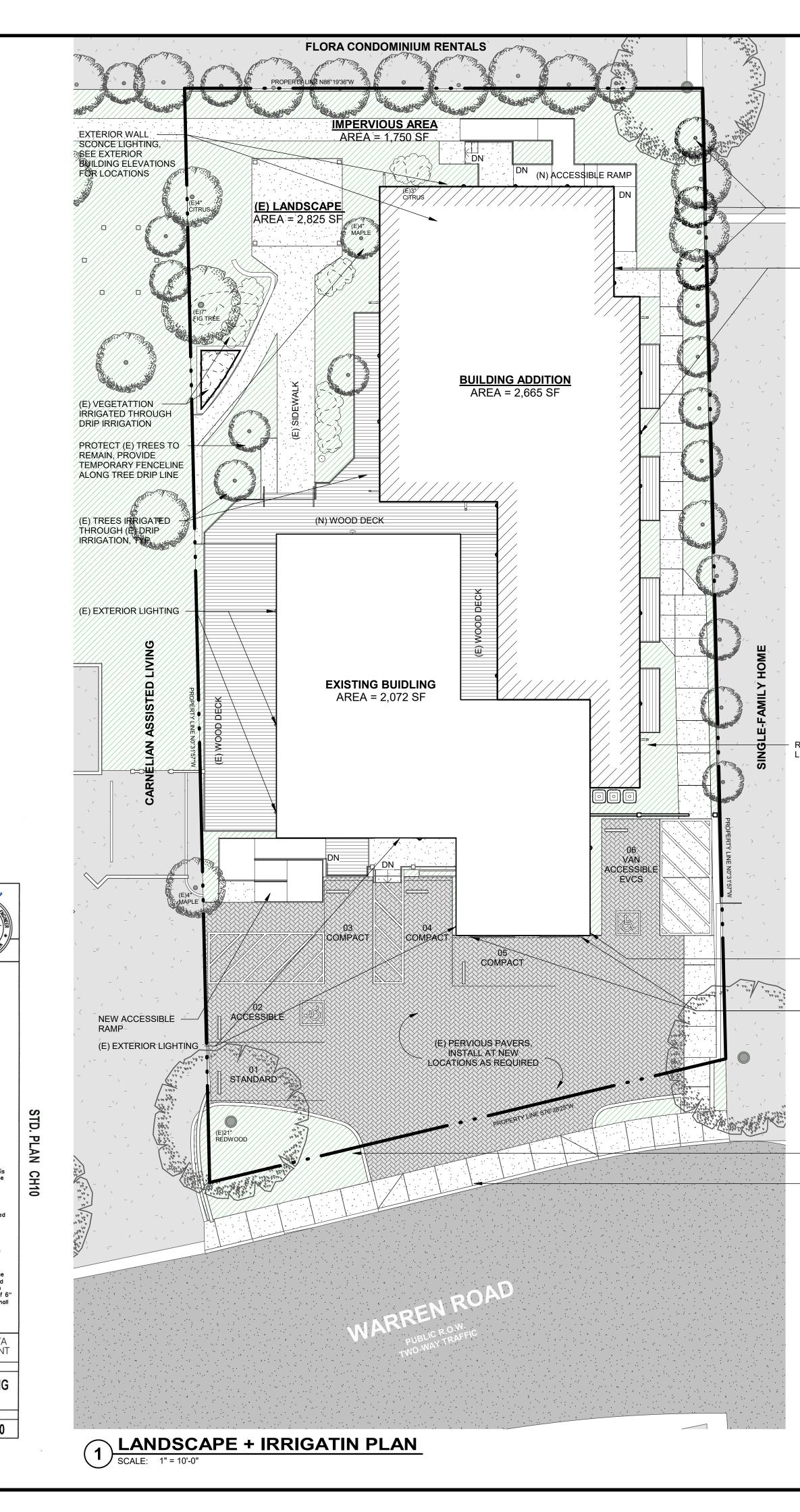
DRAINAGE MANAGEMENT AREA -DENOTES IMPERVIOUS SURFACES DMA-1

IMP-1 INTEGRATED MANAGEMENT PRACTICE

> SCALE: 1" = 10'-0"







- NEW CYPRESS TREES (3 LOCATIONS)

EXTERIOR WALL SCONCE LIGHTING, SEE EXTERIOR BUILDING ELEVATIONS FOR LOCATIONS

ROOF RAIN LEADER LINE, TYP.

- (E) PG&E UTILITIES TO REMAIN

- (E) EXTERIOR LIGHTING

(E) LANDSCAPE AREAS SHOWN IN DIAGONAL LINES, TYP. - (E) SIDEWALK ALONG R.O.W.

LEGEND (E) LANDSCAPING + VEGETATED AND **PÉRMEABLE AREAS** PERMEABLE PAVERS CONCRETE SIDEWALK - IMPERMEABLE SURFACE (E) TREES TO REMAIN - SEE NOTES IN PLANS FOR TÝPE AND DIAMETER \sim SMALL GROUND COVER: EMERALD CARPET/HIDCOTE m DRIP IRRIGATION AREAS - 5'

NORT

PLAN

NORTH TRUE

SCALE: 1" = 10'-0"





THE CARNELIAN ASSITED LIVING FACILITY EXPANSION

APN # 184-120-071

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LANDSCAPE + IRRIGATION PLAN

SHEET TITLE