

VARIANCES AND TREE PERMIT FOR
2754 LIMERICK ROAD
NEW SINGLE-FAMILY RESIDENCE AND JUNIOR
ACCESSORY DWELLING UNIT, DRIVEWAY PLATFORM, &
CARPORT

COUNTY FILE #CDVR23-01026

County Planning Commission
December 11, 2024

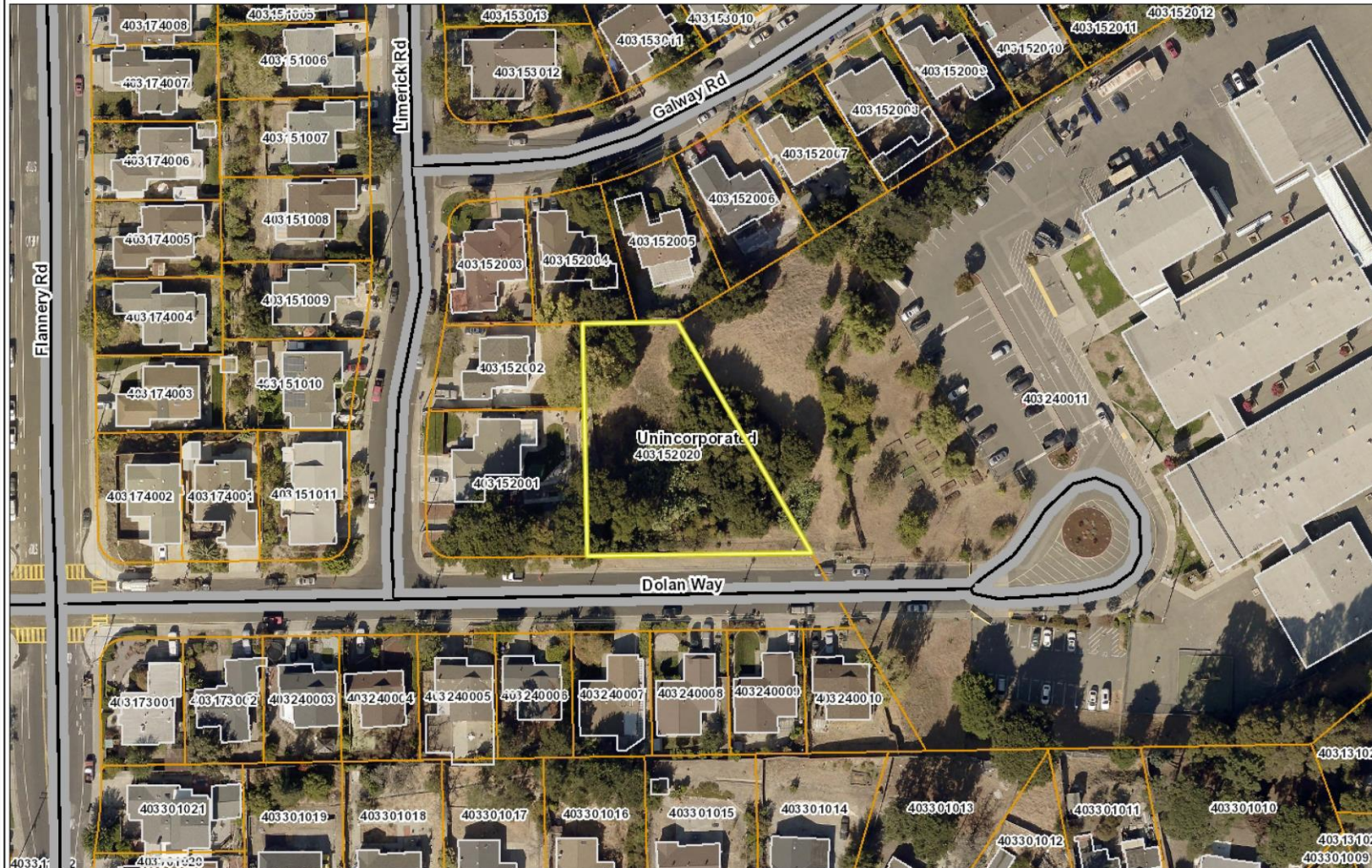


Project Description

- New 5,104 square-foot single-family residence with a junior accessory dwelling unit on a vacant lot in the San Pablo area of unincorporated Contra Costa County
- Reduced minimum front setback for an elevated driveway platform from Dolan Way
- Reduced minimum front setback for a carport structure for off-street parking
- Tree Permit to remove four (4) code-protected trees on the property:
 - Two (2) code-protected coast live oak trees for the construction of the driveway platform and carport structure.
 - One (1) code-protected red willow tree outside of the construction area due to poor structure (severe lean) and form.
 - One (1) code-protected coast live oak tree outside of the construction area due to poor health, with poor structure and form.

Aerial View

Orthophotography



- Legend**
- Building Outlines
 - City Limits
 - Unincorporated
 - Highways
 - Highways Bay Area
 - Streets
 - Water Bodies
 - County Boundary
 - Bay Area Counties
 - Assessment Parcels
 - Aerials 2019
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

0.0 0 0.02 0.0 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

1:1,128



Notes

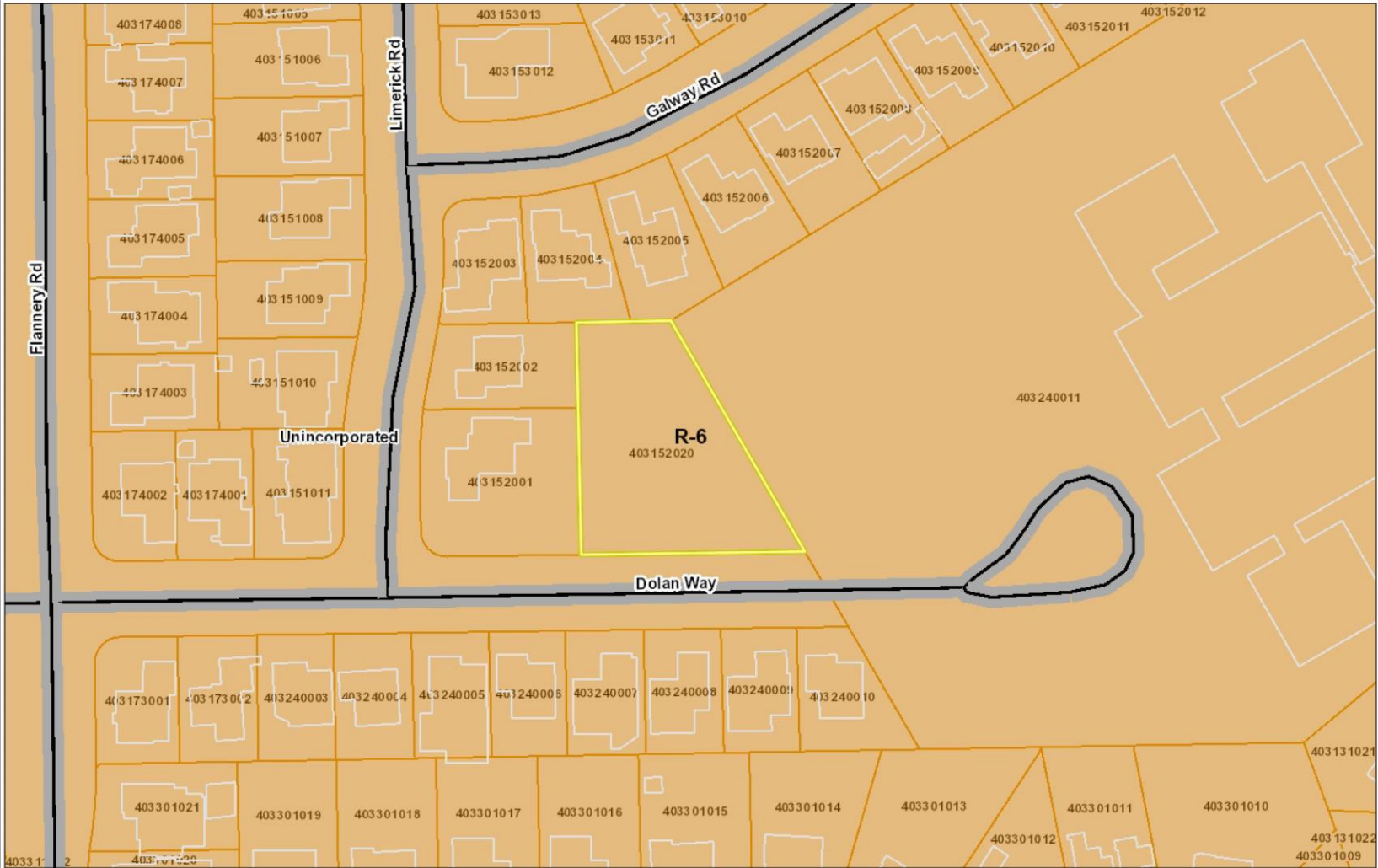
General Plan

General Plan: Single-Family Residential-High Density (SH)



Zoning

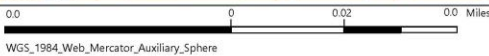
Zoning: R-6 Single-Family Residential District



Legend

- Building Outlines
- City Limits
- Unincorporated
- Highways
- Highways Bay Area
- Streets
- Zoning**
 - R-6 (Single Family Residential)
 - R-6, -FH -UE (Flood Hazard and A
 - R-6 -SD-1 (Slope Density Hillside I
 - R-6 -TOV -K (Tree Obstruction anc
 - R-6, -UE (Urban Farm Animal Excl
 - R-6 -X (Railroad Corridor Combin
 - R-7 (Single Family Residential)
 - R-7 -X (Railroad Corridor Combin
 - R-10 (Single Family Residential)
 - R-10, -UE (Urban Farm Animal Exc
 - R-12 (Single Family Residential)
 - R-15 (Single Family Residential)
 - R-20 (Single Family Residential)
 - R-20, -UE (Urban Farm Animal Exc
 - R-40 (Single Family Residential)
 - R-40, -FH -UE (Flood Hazard and F
 - R-40, -UE (Urban Farm Animal Exc
 - R-65 (Single Family Residential)
 - R-100 (Single Family Residential)
 - D-1 (Two Family Residential)
 - D-1 -T (Transitional Combining Dist
 - D-1, -UE (Urban Farm Animal Excl
 - M-12 (Multiple Family Residential)
 - M-12 -FH (Flood Hazard Combinin
 - M-17 (Multiple Family Residential)
 - M-29 (Multiple Family Residential)
 - F-R (Forestry Recreational)
 - F-R -FH (Flood Hazard Combinin
 - F-1 (Water Recreational)
 - F-1 -FH (Flood Hazard Combinin I
 - A-2 (General Agriculture)
 - A-2, -BS (Boat Storage Combinin

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Notes

Background

- A Variance application (County File #CDVR23-01026) was submitted on April 24, 2023.
- The matter was heard by the County Zoning Administrator on May 6, 2024. The County Zoning Administrator read the Housing Sites Inventory Findings into the record and approved the variances and tree permit as recommended by staff.
- On May 15, 2024, staff received one letter from Ronald Collins, appealing the Zoning Administrator's decision.

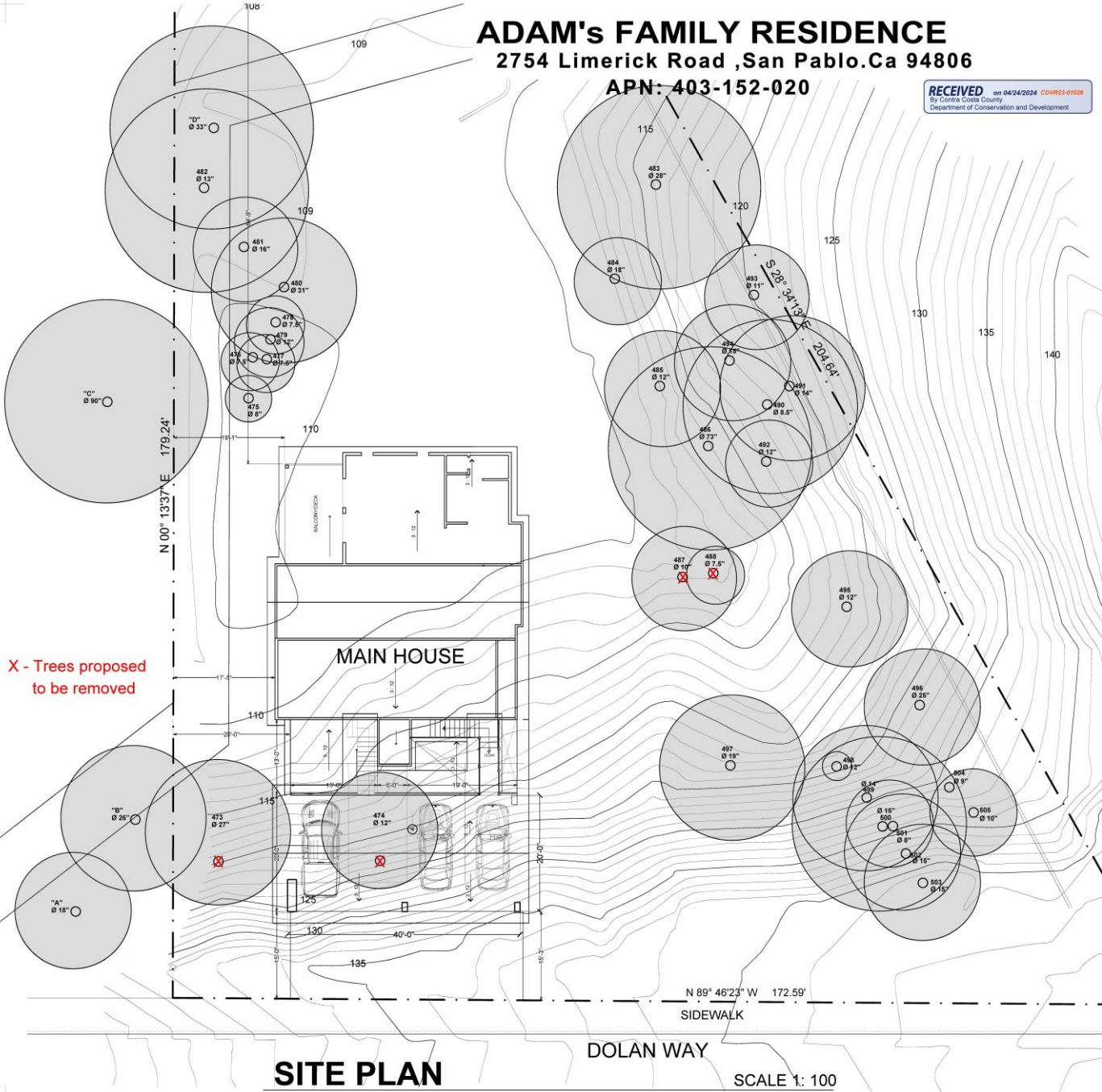
Dolan Way Frontage



Site Plan

ADAM'S FAMILY RESIDENCE
2754 Limerick Road, San Pablo, Ca 94806
APN: 403-152-020

RECEIVED on 04/24/2024 CDVR23-01026
By Contra Costa County
Department of Conservation and Development

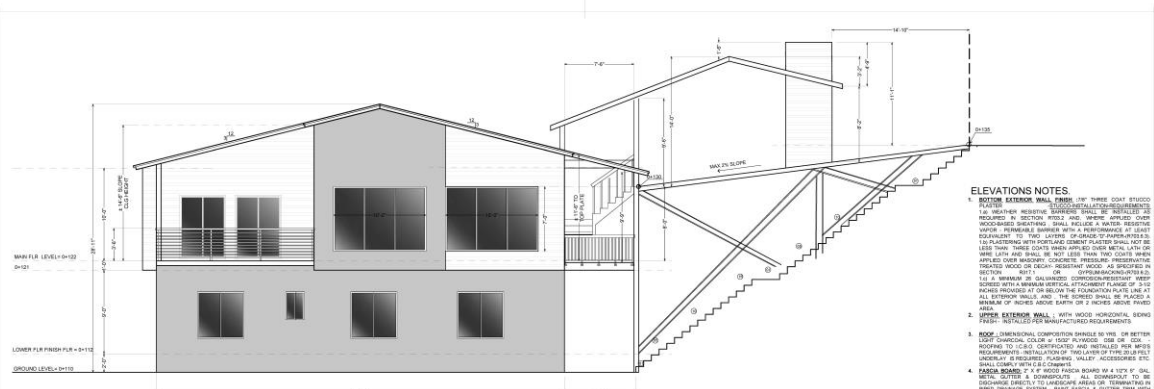


X - Trees proposed to be removed

SITE PLAN

SCALE 1: 100

Elevations



- ### ELEVATIONS NOTES
- ROOF EXTERIOR WALL FINISH:** 1/2" THREE COAT STUCCO FINISH. WEATHER RESISTIVE BARRIER SHALL BE PROVIDED AS REQUIRED IN SECTION 0705 AND APPLIED OVER WOOD-SHED SHEATHING. SHALL INCLUDE A WATER RESISTIVE BARRIER. PERMISSIBLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO 1/2" LAYER OF SHEATHING. 1/2" PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE USED UNLESS THREE COAT WALL APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN USED OVER ANOTHER CONCRETE, PRESURE-TREATED WOOD OR OTHER NON-ORGANIC SUBSTRATE. 1/2" OR 5/8" GYPSUM BOARD SHALL BE USED IN SECTION 0705. ALL WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED WITH A MINIMUM OVERLAP OF 6" AND SHALL BE STAPLED A MINIMUM OF 1/2" ABOVE RAFTERS OR 2" ABOVE JOIST FRAMED AREA.
 - UPPER EXTERIOR WALL:** WITH WOOD HORIZONTAL SIDING FINISH. INSTALLED PER MANUFACTURED REQUIREMENTS.
 - ROOF:** UNUSUAL COMPOSITION SHALL BE USED OR BETTER COMPOSITION COLOR IN GOOD FINISHES. SEE THE SCHED REQUIREMENTS. INSTALLATION OF TWO LAYERS OF FIRE RESISTANT BOARD SHALL BE PROVIDED. FLASHING, GUTTER, ACCESSORIES ETC. SHALL MATCH WITH SIDING.
 - FASCIA BOARD:** 2" x 4" WOOD FASCIA BOARD W/ 4 1/2" x 1/2" GAL. METAL FLOTTS & DOWNSPUTS. ALL DOWNSPUTS TO BE DOWNSPUTS DIRECTLY TO LANDSCAPE AREA OR TERMINATED IN FRESH DRAINAGE SYSTEM. PAINT FASCIA & GUTTER TRIM WITH ACCENT COLOR.
 - ALL WINDOWS & GLASS DOOR:** WINDOWS DOUBLE GLASS PANEL. GLASS TO BE TINTED TO MATCH THE BARRIERS WINDOW. ELEM. GLASS DOORS AND WINDOWS LESS TO UP TO FINISH FLOOR LEVEL AND LESS TO 30" OF ANY CORNER WALL SHALL BE TEMPORARY GLASS.
 - DOWNSPUTS:** BARGE RAFTER VACCENT COLOR.
 - WATERPROOF EXTERIOR DOWN LIGHT STYLE:** BY OWNER. PROVIDE HIGH EFFICIENCY OR CONTROLLED BY MOTOR BENCH W/LEA PHOTOCONTROL.

RIGHT ELEVATION
SCALE 1/4"=1'-0"

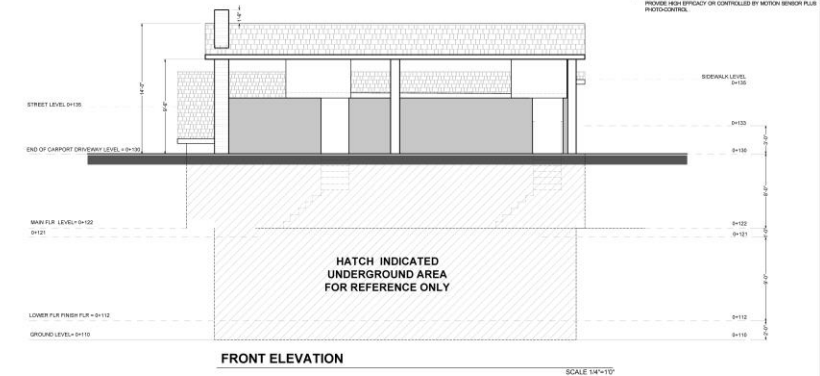
Main Entry Upper Floor Awning

- METAL STRUCTURE SUPPORT W/ STEEL CABLE TO WALL PAINTED WITH ACCENT COLOR MATCH WITH FASCIA BOARD COLOR (REFER TO COLOR EXHIBIT)

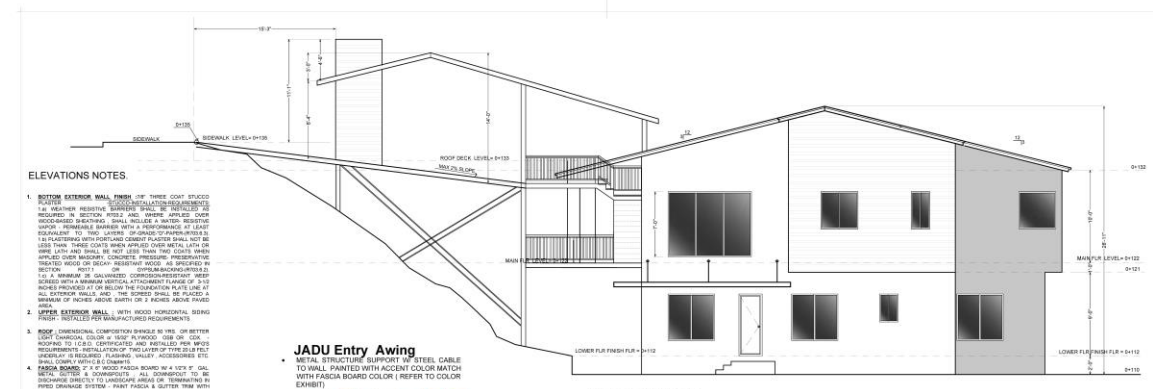


Wood Siding Wall

- DARK GREY COLOR (LEFT SIDE OF BUILDING) PROVIDE HORIZONTAL WOOD SIDING PAINT WITH WEATHERPROOF STAIN NATURAL COLOR



HATCH INDICATED UNDERGROUND AREA FOR REFERENCE ONLY



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JADU Entry Awning

- METAL STRUCTURE SUPPORT W/ STEEL CABLE TO WALL PAINTED WITH ACCENT COLOR MATCH WITH FASCIA BOARD COLOR (REFER TO COLOR EXHIBIT)



Wood Siding Wall

- DARK GREY COLOR (LEFT SIDE OF BUILDING) PROVIDE HORIZONTAL WOOD SIDING PAINT WITH WEATHERPROOF STAIN NATURAL COLOR



Roof Material

- DARK GREY COLOR COMPOSITION SHINGLE 30 YRS



LEFT ELEVATION
SCALE 1/4"=1'-0"

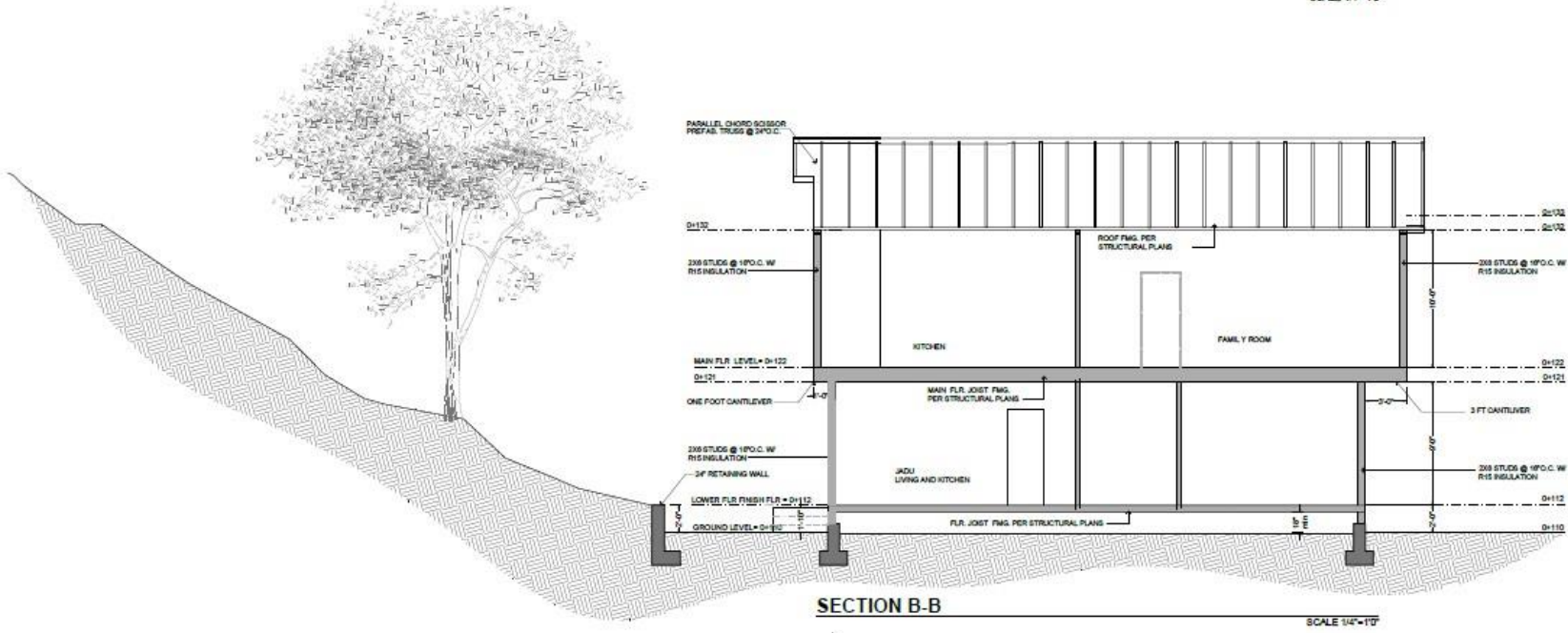
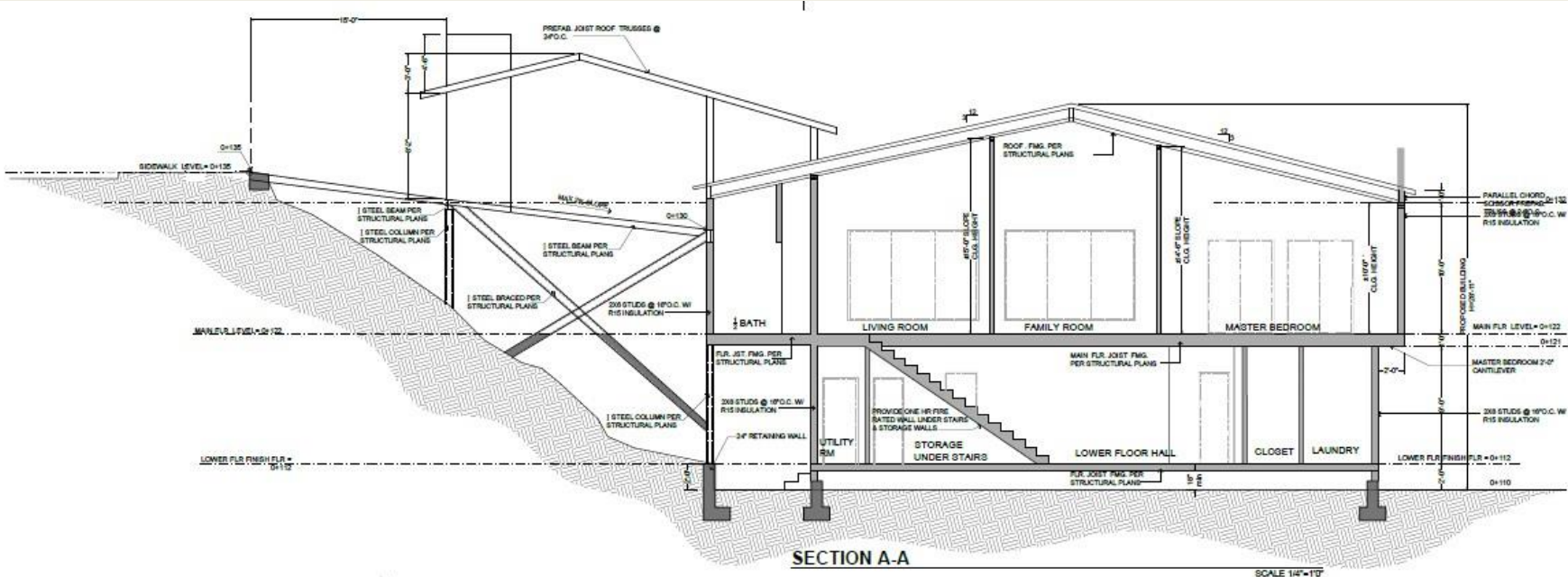
Color	Product
White	SW 7007 (SHERWIN WILLIAMS COLOR)
Dark Grey	SW 7016 (SHERWIN WILLIAMS COLOR)
Accent Color	SW 7014 (SHERWIN WILLIAMS COLOR)

- ### Color Sample
- ALL EXTERIOR WALLS SMOOTH STUCCO FINISHED WITH
 - BODY OF BUILDING WALLS REPOSE GREY (SW7016) (SHERWIN WILLIAMS COLOR)
 - ALL WOOD SIDING AND TRIMS WITH CITYSCAPE (SW 7017) (SHERWIN WILLIAMS COLOR)
 - FASCIA BOARD, GUTTER & DOWNSPUT PAINTED CITY SCAPE (SW 7017-SHERWIN WILLIAMS COLOR)
 - ALL DOORS DOOR PAINTED BY EDER WHITE (SW 7014-SHERWIN WILLIAMS COLOR)

REAR ELEVATION
SCALE 1/4"=1'-0"

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Sections



Summary of Appeal Points

- Soil stability and Drainage: Appellant is concerned about the removal of the two trees on the slope east of the proposed residence and the impact on soil stability and drainage.
- Wildlife Habitat/Animal Sanctuary: Appellant states that wildlife seek shelter in the trees, that their habitat is being destroyed, and that the vacant property has become an animal sanctuary.
- Change of Hill Runoff: Appellant states that a change of hill runoff into appellant's property due to the proposed development could cause possible flooding of existing improvements.
- Privacy Concerns: Appellant is concerned that the occupants of the new residence could look directly into their backyard and bedroom window and that the removal of the two trees on the Dolan side of the subject property would compromise their privacy.
- Location of Residence Blocking Sunlight: Appellant is concerned that the proposed residence will be located too close to the shared property line and that the new residence will block sunlight to their yard in the morning.

Summary of Appeal Points (continued)

- No Valid Reason for Tree Removal: Appellant states that there is no valid reason for the four trees to be removed.
- Structure and Size: Appellant is concerned about the structure and size of the proposed residence and asserts that it is a 3-story house.
- Not Suitable for Development/Water Ponding: Appellant states that the site is not suitable to build a home as water collects from the hills above and ponds within the flatter areas of the property; the applicant hired a construction crew to remove the pond and install stormwater piping to a storm drain and aqueduct below the subject property.
- Illegal Dumping: Appellant indicated that there has been illegal dumping of dirt onto the property in the past.

Staff Recommendation

- Staff recommends that the County Planning Commission:
 - OPEN the public hearing on the variance and tree permit requests for the construction of a driveway platform and carport structure and a new single-family residence, RECEIVE testimony, and CLOSE the public hearing.
 - DENY the appeal by Ronald Collins and UPHOLD the Zoning Administrator's decision to approve County File #CDVR23-01026.
 - ADOPT the attached findings and conditions of approval.
 - FIND that the project is categorically exempt from CEQA under Section 15303(a) of the CEQA Guidelines.
 - DIRECT the Department of Conservation and Development to file a Notice of Exemption with the County Clerk.



QUESTIONS?